


# PROPOSED ALTERATIONS & ADDITIONS - NEW LIFT, FIRE & ACCESS UPGRADING AT LOT 1 IN DP 61322 THE GOULBURN CLUB - 19 MARKET STREET



| DWG # | REV # | TITLE OF DRAWING                                     |
|-------|-------|--|
| C-00  | D     | TITLE SHEET  |
| C-01  | D     | GENERAL NOTES  |
| C-02  | D     | EXISTING SITE PLAN                                   |
| C-03  | D     | EXISTING GROUND FLOOR PLAN                           |
| C-04  | D     | EXISTING MEZZANINE FLOOR PLAN                        |
| C-05  | D     | EXISTING FIRST FLOOR PLAN                            |
| C-06  | D     | EXISTING SOUTH ELEVATION                             |
| C-07  | D     | EXISTING WEST ELEVATION                              |
| C-08  | D     | EXISTING NORTH ELEVATION                             |
| C-09  | D     | EXISTING EAST ELEVATION                              |
| C-10  | D     | DEMOLITION OVERALL FLOOR PLANS                       |
| C-11  | D     | DEMOLITION (MANAGEMENT PLAN) GROUND FLOOR            |
| C-12  | D     | DEMOLITION (MANAGEMENT PLAN) MEZZANINE / FIRST FLOOR |
| C-13  | D     | DEMOLITION ELEVATIONS 1                              |
| C-14  | D     | DEMOLITION ELEVATIONS 2                              |
| C-15  | D     | PROPOSED SITE PLAN                                   |
| C-16  | D     | GENERAL NOTES & COMPLIANCE NOTES                     |
| C-17  | D     | PROPOSED GROUND FLOOR PLAN                           |
| C-18  | D     | PROPOSED FIRST FLOOR PLAN                            |
| C-19  | D     | PROPOSED ELEVATIONS 1                                |
| C-20  | D     | PROPOSED ELEVATIONS 2                                |
| C-23  | D     | INTERNAL ELEVATIONS 1                                |
| C-24  | D     | INTERNAL ELEVATION 2                                 |
| C-25  | D     | DOOR SCHEDULE  |
| C-26  | D     | WINDOW SCHEDULE                                      |
| C-28  | D     | FIRE STAIR DETAILS                                   |
| C-30  | D     | FOOTPATH SECTIONS                                    |
| C-31  | D     | FOOTPATH 3D VIEWS                                    |

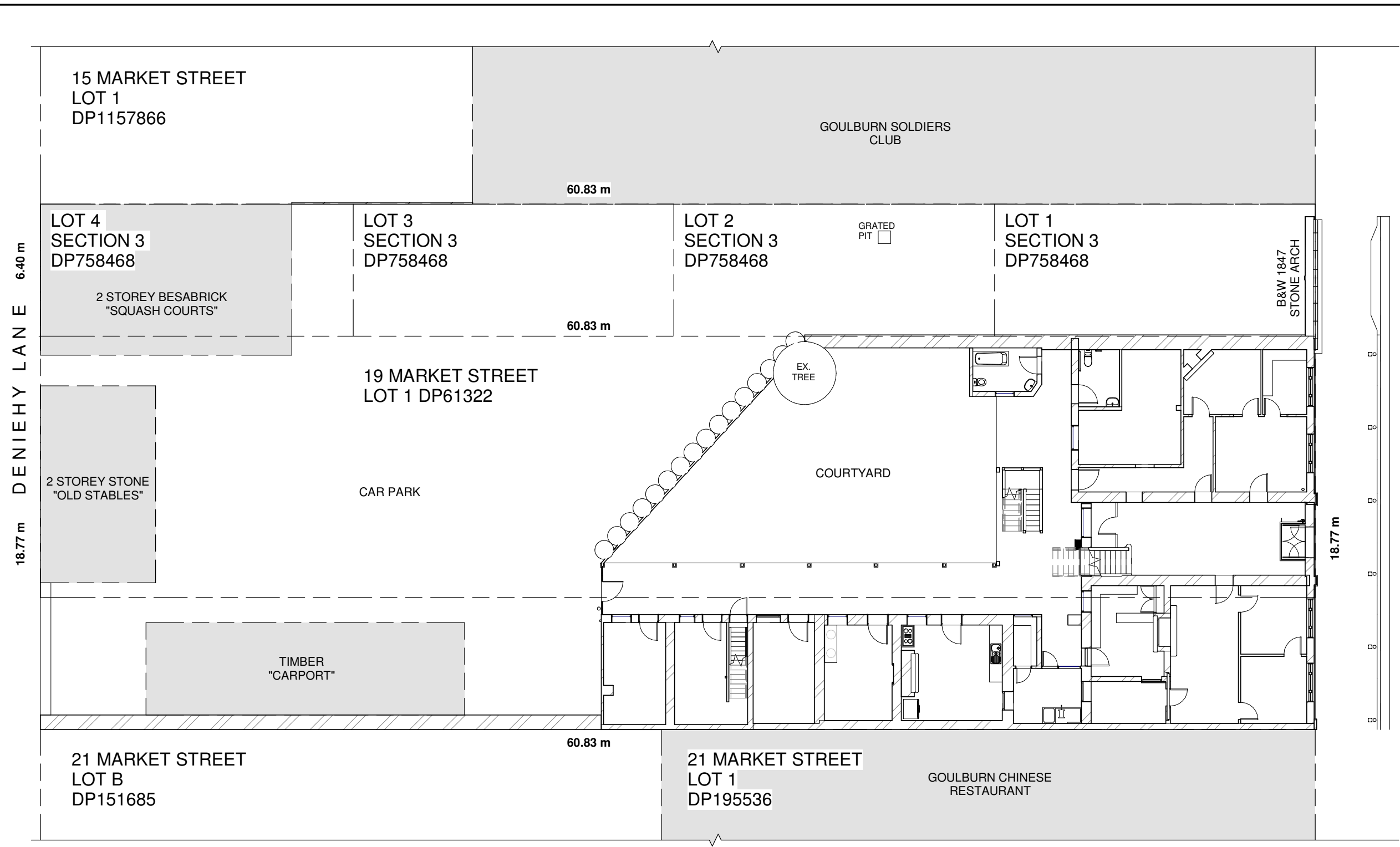
## ISSUED FOR CLIENT MEETING

ISSUED FOR  
**PRELIMINARY**  
**NOT FOR CONSTRUCTION**  
REFER TO GENERAL NOTES SHEET

|                           |   |          |  |   |  |                              |                             |
|---------------------------|---|----------|--|---|--|------------------------------|-----------------------------|
| <b>DRAWING AMENDMENTS</b> |   |          | PROJECT TITLE<br>ALTERATION & ADDITIONS - NEW LIFT, FIRE & ACCESS UPGRADING  | <br><b>TIM LEE ARCHITECTS</b><br><small>residential commercial industrial</small><br>P: 02 4822 5934<br>ABN: 71425067537<br>ROSS PLACE<br>GOULBURN NSW<br>2580<br>NOMINATED ARCHITECT:<br><b>TIM LEE</b><br>NSW REG: 7304<br>ACT REG: 1030 | DRAWING TITLE<br>TITLE SHEET                   | DRAWING COMMENCED<br>SEPT 18 | DRAWING VERIFIED BY<br>T.L. |
| REVISION                  | DESCRIPTION                             | DATE     | CLIENT<br>GOULBURN CLUB  |   | LOT AND DEPOSITED PLAN NO.<br>LOT 1 - DP 61322 | DRAWING SCALE                | DRAWN BY<br>AH              |
| A                         | CONCEPT C - PROPOSED ENTRY RAMP SECTION | 08.07.19 | Figured dimensions take precedence. Do not scale drawings.<br>Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work.<br>All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.<br>COPYRIGHT TIM LEE ARCHITECTS<br>Drawings subject to copyright and may not be reproduced in any form without the written permission of the builder. | STREET ADDRESS<br>19 MARKET STREET, GOULBURN, NSW 2580  | AT SHEET SIZE<br>A3 SHEET                      | JOB NUMBER<br>0718-1021      |                             |
| B                         | CONCEPT C - MEETING WITH CLIENT         | 16.10.19 |  | DRAWING IDENTIFICATION NUMBER<br>C-00 OF  | AMENDMENT ISSUE<br>D                           |                              |                             |
| C                         | CONCEPT C - TO TL/IGNIS FOR REVIEW      | 30.10.19 |  |   |  |                              |                             |
| D                         | CONCEPT D - ISSUE FOR CLIENT MEETING    | 11.11.19 |  |   |  |                              |                             |

NOTE : ALL LEVELS SHOWN ARE BASED ON SUPPLIED 3RD PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ONSITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORK. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS.

ALL FLOOR LEVELS & GROUND LEVELS ARE ASSUMED & ARE TO BE CONFIRMED ONSITE, PRIOR TO COMMENCING ANY WORKS. ALL DIMENSIONS TO BE CONFIRMED ONSITE. SURVEYOR TO ESTABLISH BOUNDARY AND SET OUT BUILDINGS. ALL DIMENSIONS SUBJECT TO SITE SURVEY.



MARKET STREET

DENIEHY LANE

SITE AREA 1522.98 m<sup>2</sup>

- REFER TO :
- SITE PLANS :
  - DEMOLITION PLANS :
  - FLOOR PLANS :
  - ELEVATIONS :
  - SECTIONS :
  - 3D VIEWS :
  - INTERNAL ELEVATIONS :
  - DOOR & WINDOWS :
  - CUT & FILL PLAN :
  - SETOUT PLAN :
  - EROSION & SEDIMENT CONTROL :
  - LANDSCAPE PLAN :
  - NOTIFICATION PLAN :

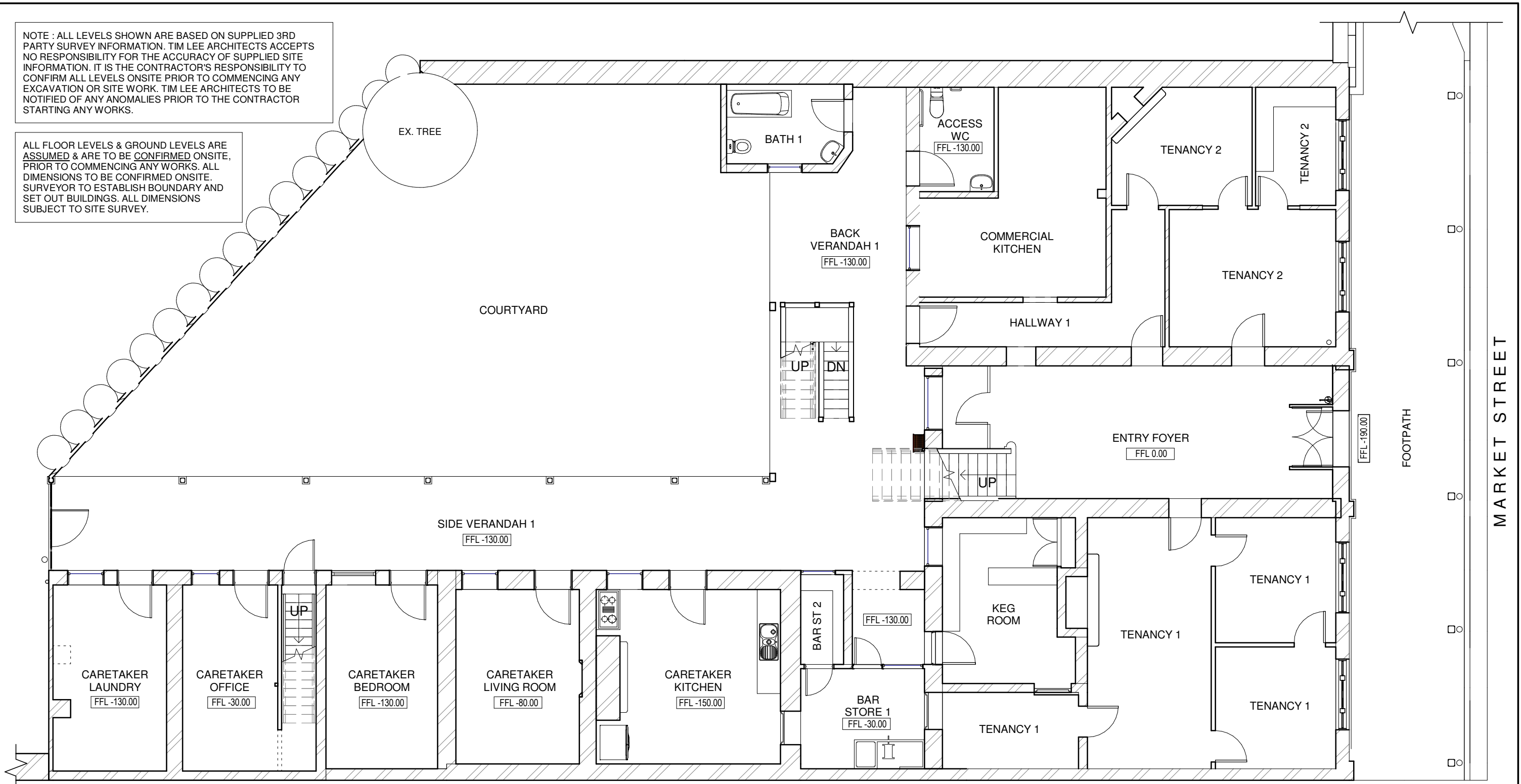
ISSUED FOR  
**PRELIMINARY**  
**NOT FOR CONSTRUCTION**  
REFER TO GENERAL NOTES SHEET

**1** EXISTING SITE PLAN  
1 : 200 @ A3

|                           |  |             |  |  |   |  |   |  |  |  |   |  |
|---------------------------|--|-------------|--|--|---|--|---|--|--|--|---|--|
| <b>DRAWING AMENDMENTS</b> |  |             | <b>PROJECT TITLE</b><br>ALTERATION & ADDITIONS - NEW LIFT, FIRE & ACCESS UPGRADING   |  | <b>DRAWING TITLE</b><br>EXISTING SITE PLAN  |  | <b>DRAWING COMMENCED</b><br>SEPT 18                           |  | <b>DRAWING VERIFIED BY</b><br>TL   |  |   |  |
| <b>REVISION</b>           | <b>DESCRIPTION</b>                       | <b>DATE</b> | <b>CLIENT</b><br>GOULBURN CLUB   |  | <b>LOT AND DEPOSITED PLAN NO.</b><br>LOT 1 - DP 61322   |  | <b>DRAWING SCALE</b><br>As indicated                          |  | <b>DRAWN BY</b><br>AW  |  |   |  |
| A                         | CONCEPT C - PROPOSED ENTRY RAMPS SECTION | 08.07.19    | Figured dimensions take precedence. Do not scale drawings.<br>Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work.<br>All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.<br>COPYRIGHT TIM LEE ARCHITECTS<br>Drawings subject to copyright and may not be reproduced in any form without the written permission of the builder. |  | <b>AT SHEET SIZE</b><br>A3 SHEET  |  | <b>JOB NUMBER</b><br>0718-1021                                |  | <b>DRAWING IDENTIFICATION NUMBER</b><br>C-02 OF<br><br><b>AMENDMENT ISSUE</b><br>D |  |   |  |
| B                         | CONCEPT C - MEETING WITH CLIENT          | 16.10.19    |  |  | <b>NOMINATED ARCHITECT:</b><br>TIM LEE<br>NSW REG: 7304<br>ACT REG: 1030  |  | <b>STREET ADDRESS</b><br>19 MARKET STREET, GOULBURN, NSW 2580 |  |  |  | <b>DRAWING IDENTIFICATION NUMBER</b><br>C-02 OF |  |
| C                         | CONCEPT C - TO TL/IGNIS FOR REVIEW       | 30.10.19    |  |  | <b>TIM LEE ARCHITECTS</b><br>residential commercial industrial<br>P: 02 4822 5934<br>ABN: 71425067537<br>ROSS PLACE<br>GOULBURN NSW<br>2580 |  | DRAWING COMMENCED<br>SEPT 18                                  |  |  |  | DRAWING VERIFIED BY<br>TL                       |  |
| D                         | CONCEPT D - ISSUE FOR CLIENT MEETING     | 11.11.19    |  |  |   |  |   |  |  |  |   |  |

NOTE : ALL LEVELS SHOWN ARE BASED ON SUPPLIED 3RD PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ONSITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORK. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS.

ALL FLOOR LEVELS & GROUND LEVELS ARE ASSUMED & ARE TO BE CONFIRMED ONSITE, PRIOR TO COMMENCING ANY WORKS. ALL DIMENSIONS TO BE CONFIRMED ONSITE. SURVEYOR TO ESTABLISH BOUNDARY AND SET OUT BUILDINGS. ALL DIMENSIONS SUBJECT TO SITE SURVEY.



**1** EXISTING GROUND FLOOR PLAN  
1 : 100 @ A3

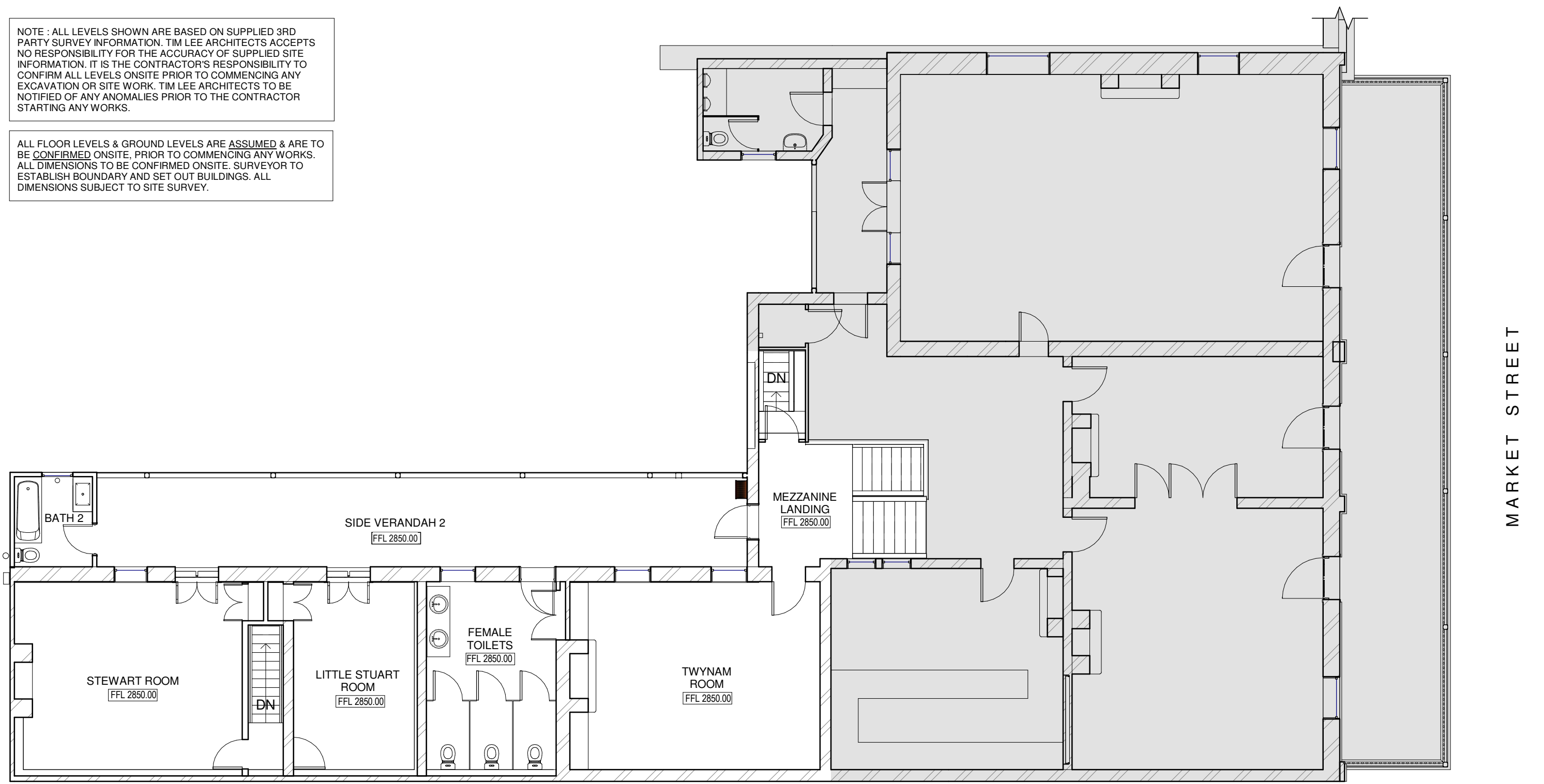
REFER TO :  
 SITE PLANS :  
 DEMOLITION PLANS :  
 FLOOR PLANS :  
 ELEVATIONS :  
 SECTIONS :  
 3D VIEWS :  
 INTERNAL ELEVATIONS :  
 DOOR & WINDOWS :  
 CUT & FILL PLAN :  
 SETOUT PLAN :  
 EROSION & SEDIMENT CONTROL :  
 LANDSCAPE PLAN :  
 NOTIFICATION PLAN :

ISSUED FOR  
**PRELIMINARY**  
**NOT FOR CONSTRUCTION**  
 REFER TO GENERAL NOTES SHEET

| DRAWING AMENDMENTS |  |          | PROJECT TITLE  | <b>TIM LEE ARCHITECTS</b><br><small>residential commercial industrial</small><br>P: 02 4822 5934<br>ABN: 71425067537<br>ROSS PLACE<br>GOULBURN NSW<br>2580<br>NOMINATED ARCHITECT:<br><b>TIM LEE</b><br>NSW REG: 7304<br>ACT REG: 1030 | DRAWING TITLE                 | DRAWING COMMENCED | DRAWING VERIFIED BY |
|--------------------|--|----------|--|--|-------------------------------|-------------------|---------------------|
| REVISION           | DESCRIPTION                              | DATE     | ALTERATION & ADDITIONS - NEW LIFT, FIRE & ACCESS UPGRADING   |  | EXISTING GROUND FLOOR PLAN    | SEPT 18           | TL                  |
| A                  | CONCEPT C - PROPOSED ENTRY RAMPS SECTION | 08.07.19 | CLIENT<br><b>GOULBURN CLUB</b><br>Figured dimensions take precedence. Do not scale drawings.<br>Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work.<br>All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.<br>COPYRIGHT TIM LEE ARCHITECTS<br>Drawings subject to copyright and may not be reproduced in any form without the written permission of the builder. | LOT AND DEPOSITED PLAN NO.   | DRAWING SCALE                 | DRAWN BY          |                     |
| B                  | CONCEPT C - MEETING WITH CLIENT          | 16.10.19 |  | LOT 1 - DP 61322   | 1 : 100                       | AW                |                     |
| C                  | CONCEPT C - TO TL/IGNIS FOR REVIEW       | 30.10.19 |  | STREET ADDRESS   | A3 SHEET                      | JOB NUMBER        |                     |
| D                  | CONCEPT D - ISSUE FOR CLIENT MEETING     | 11.11.19 |  | 19 MARKET STREET, GOULBURN, NSW 2580   | C-03 OF                       | 0718-1021         |                     |
|                    |  |          |  |  | DRAWING IDENTIFICATION NUMBER | AMENDMENT ISSUE   |                     |
|                    |  |          |  |  | C-03 OF                       | D                 |                     |

NOTE : ALL LEVELS SHOWN ARE BASED ON SUPPLIED 3RD PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ONSITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORK. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS.

ALL FLOOR LEVELS & GROUND LEVELS ARE ASSUMED & ARE TO BE CONFIRMED ONSITE, PRIOR TO COMMENCING ANY WORKS. ALL DIMENSIONS TO BE CONFIRMED ONSITE. SURVEYOR TO ESTABLISH BOUNDARY AND SET OUT BUILDINGS. ALL DIMENSIONS SUBJECT TO SITE SURVEY.



**1** EXISTING MEZZANINE FLOOR PLAN  
1 : 100 @ A3

REFER TO :  
 SITE PLANS :  
 DEMOLITION PLANS :  
 FLOOR PLANS :  
 ELEVATIONS :  
 SECTIONS :  
 3D VIEWS :

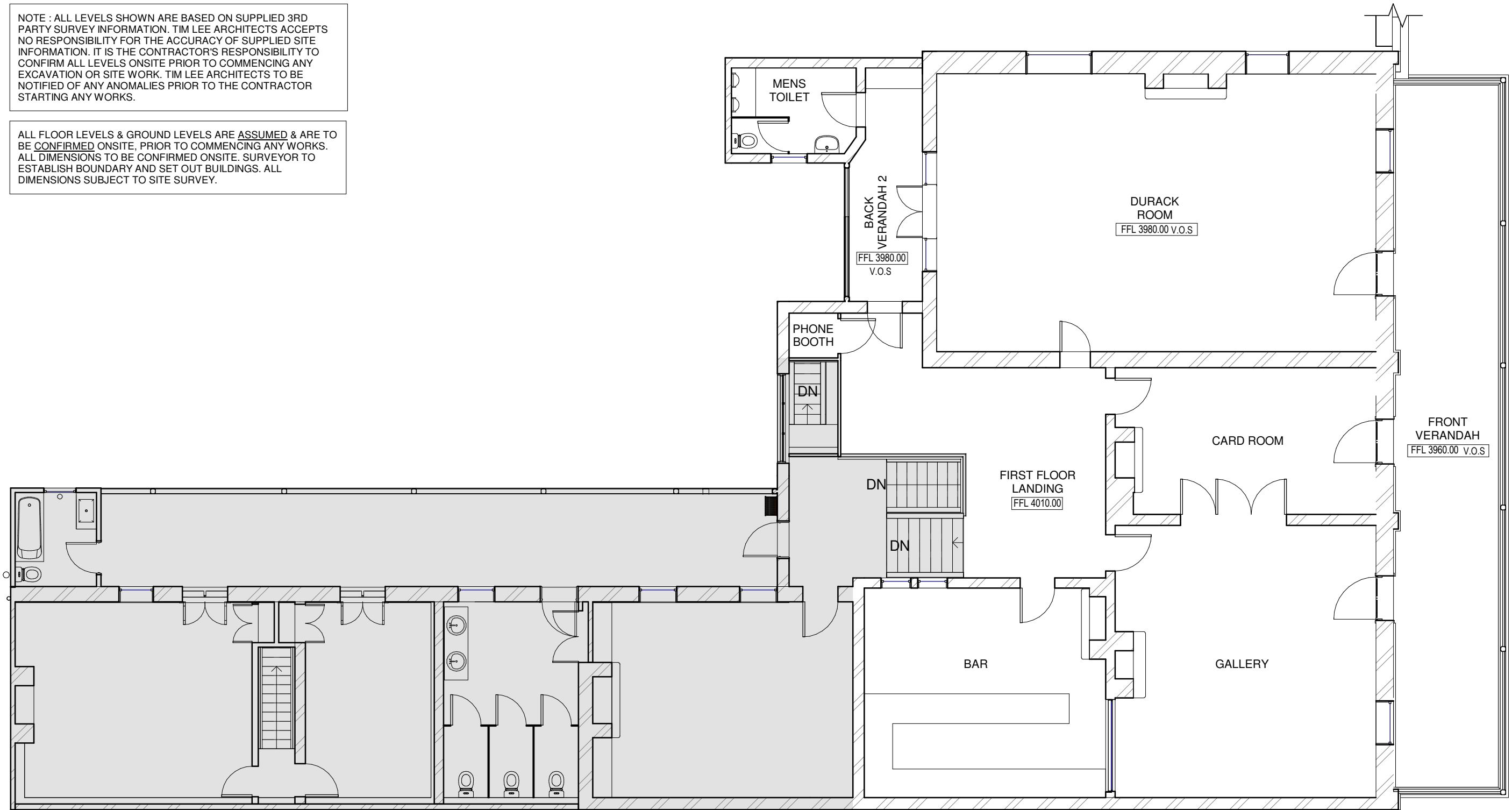
INTERNAL ELEVATIONS :  
 DOOR & WINDOWS :  
 CUT & FILL PLAN :  
 SETOUT PLAN :  
 EROSION & SEDIMENT CONTROL :  
 LANDSCAPE PLAN :  
 NOTIFICATION PLAN :

ISSUED FOR  
**PRELIMINARY**  
**NOT FOR CONSTRUCTION**  
 REFER TO GENERAL NOTES SHEET

| DRAWING AMENDMENTS |  |          | PROJECT TITLE  | <b>TIM LEE ARCHITECTS</b><br><small>residential commercial industrial</small><br>P: 02 4822 5934<br>ABN: 71425067537<br>ROSS PLACE<br>GOULBURN NSW<br>2580<br>NOMINATED ARCHITECT:<br><b>TIM LEE</b><br>NSW REG: 7304<br>ACT REG: 1030 | DRAWING TITLE                        | DRAWING COMMENCED | DRAWING VERIFIED BY |
|--------------------|--|----------|--|--|--------------------------------------|-------------------|---------------------|
| REVISION           | DESCRIPTION                              | DATE     | ALTERATION & ADDITIONS - NEW LIFT, FIRE & ACCESS UPGRADING   |  | EXISTING MEZZANINE FLOOR PLAN        | SEPT 18           | TL                  |
| A                  | CONCEPT C - PROPOSED ENTRY RAMPS SECTION | 08.07.19 | CLIENT<br><b>GOULBURN CLUB</b><br>Figured dimensions take precedence. Do not scale drawings.<br>Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work.<br>All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.<br>COPYRIGHT TIM LEE ARCHITECTS<br>Drawings subject to copyright and may not be reproduced in any form without the written permission of the builder. | LOT AND DEPOSITED PLAN NO.   | DRAWING SCALE                        | DRAWN BY          |                     |
| B                  | CONCEPT C - MEETING WITH CLIENT          | 16.10.19 |  | LOT 1 - DP 61322   | 1 : 100                              | AW                |                     |
| C                  | CONCEPT C - TO TL/IGNIS FOR REVIEW       | 30.10.19 |  | STREET ADDRESS   | 19 MARKET STREET, GOULBURN, NSW 2580 | AT SHEET SIZE     | JOB NUMBER          |
| D                  | CONCEPT D - ISSUE FOR CLIENT MEETING     | 11.11.19 |  |  |                                      | A3 SHEET          | 0718-1021           |
|                    |  |          |  |  | DRAWING IDENTIFICATION NUMBER        | AMENDMENT ISSUE   |                     |
|                    |  |          |  |  | C-04 OF                              | D                 |                     |

NOTE : ALL LEVELS SHOWN ARE BASED ON SUPPLIED 3RD PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ONSITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORK. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS.

ALL FLOOR LEVELS & GROUND LEVELS ARE ASSUMED & ARE TO BE CONFIRMED ONSITE, PRIOR TO COMMENCING ANY WORKS. ALL DIMENSIONS TO BE CONFIRMED ONSITE. SURVEYOR TO ESTABLISH BOUNDARY AND SET OUT BUILDINGS. ALL DIMENSIONS SUBJECT TO SITE SURVEY.



**1** EXISTING FIRST FLOOR PLAN  
1 : 100 @ A3

REFER TO :  
 SITE PLANS :  
 DEMOLITION PLANS :  
 FLOOR PLANS :  
 ELEVATIONS :  
 SECTIONS :  
 3D VIEWS :

INTERNAL ELEVATIONS :  
 DOOR & WINDOWS :  
 CUT & FILL PLAN :  
 SETOUT PLAN :  
 EROSION & SEDIMENT CONTROL :  
 LANDSCAPE PLAN :  
 NOTIFICATION PLAN :

ISSUED FOR  
**PRELIMINARY**  
**NOT FOR CONSTRUCTION**  
 REFER TO GENERAL NOTES SHEET

| DRAWING AMENDMENTS |  |          | PROJECT TITLE  | <b>TIM LEE ARCHITECTS</b><br><small>residential commercial industrial</small><br>P: 02 4822 5934<br>ABN: 71425067537<br>ROSS PLACE<br>GOULBURN NSW<br>2580<br>NOMINATED ARCHITECT:<br><b>TIM LEE</b><br>NSW REG: 7304<br>ACT REG: 1030 | DRAWING TITLE                 | DRAWING COMMENCED | DRAWING VERIFIED BY |
|--------------------|--|----------|--|--|-------------------------------|-------------------|---------------------|
| REVISION           | DESCRIPTION                              | DATE     | ALTERATION & ADDITIONS - NEW LIFT, FIRE & ACCESS UPGRADING   |  | EXISTING FIRST FLOOR PLAN     | SEPT 18           | TL                  |
| A                  | CONCEPT C - PROPOSED ENTRY RAMPS SECTION | 08.07.19 | CLIENT<br><b>GOULBURN CLUB</b><br>Figured dimensions take precedence. Do not scale drawings.<br>Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work.<br>All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.<br>COPYRIGHT TIM LEE ARCHITECTS<br>Drawings subject to copyright and may not be reproduced in any form without the written permission of the builder. | LOT AND DEPOSITED PLAN NO.   | DRAWING SCALE                 | DRAWN BY          |                     |
| B                  | CONCEPT C - MEETING WITH CLIENT          | 16.10.19 |  | LOT 1 - DP 61322   | 1 : 100                       | AW                |                     |
| C                  | CONCEPT C - TO TL/IGNIS FOR REVIEW       | 30.10.19 |  | STREET ADDRESS   | A3 SHEET                      | JOB NUMBER        |                     |
| D                  | CONCEPT D - ISSUE FOR CLIENT MEETING     | 11.11.19 |  | 19 MARKET STREET, GOULBURN, NSW 2580   | C-05 OF                       | 0718-1021         |                     |
|                    |  |          |  |  | DRAWING IDENTIFICATION NUMBER | AMENDMENT ISSUE   |                     |
|                    |  |          |  |  | C-05 OF                       | D                 |                     |

Figured dimensions take precedence. Do not scale drawings.  
 Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work.  
 All materials and workmanship to be in strict accordance with current Australian standards, BCA, local regulations and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.  
 COPYRIGHT TIM LEE ARCHITECTS  
 Drawings subject to copyright and may not be reproduced in any form without the written permission of the builder.

NOTE : ALL LEVELS SHOWN ARE BASED ON SUPPLIED 3RD PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ONSITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORK. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS.

ALL FLOOR LEVELS & GROUND LEVELS ARE ASSUMED & ARE TO BE CONFIRMED ONSITE, PRIOR TO COMMENCING ANY WORKS. ALL DIMENSIONS TO BE CONFIRMED ONSITE. SURVEYOR TO ESTABLISH BOUNDARY AND SET OUT BUILDINGS. ALL DIMENSIONS SUBJECT TO SITE SURVEY.

ISSUED FOR  
**CONCEPT C**  
 NOT FOR CONSTRUCTION

**DRAWING AMENDMENTS**

| REVISION | DESCRIPTION                          | DATE     |
|----------|--------------------------------------|----------|
| C        | CONCEPT C - TO TL/IGNIS FOR REVIEW   | 30.10.19 |
| D        | CONCEPT D - ISSUE FOR CLIENT MEETING | 11.11.19 |

PROJECT TITLE  
**ALTERATION & ADDITIONS - NEW LIFT, FIRE & ACCESS UPGRADING**

CLIENT  
**GOULBURN CLUB**

DRAWING TITLE  
**EXISTING SOUTH ELEVATION**

LOT AND DEPOSITED PLAN NO.  
**LOT 1 - DP 61322**

STREET ADDRESS  
**19 MARKET STREET,  
 GOULBURN, NSW 2580**

DRAWING VERIFIED BY  
**TL**

DRAWN BY  
**AW**

JOB NUMBER  
**0718-1021**

DRAWING NO.  
**C-06**

ISSUE  
**D**

DRAWING COMMENCED  
**SEPT 18**

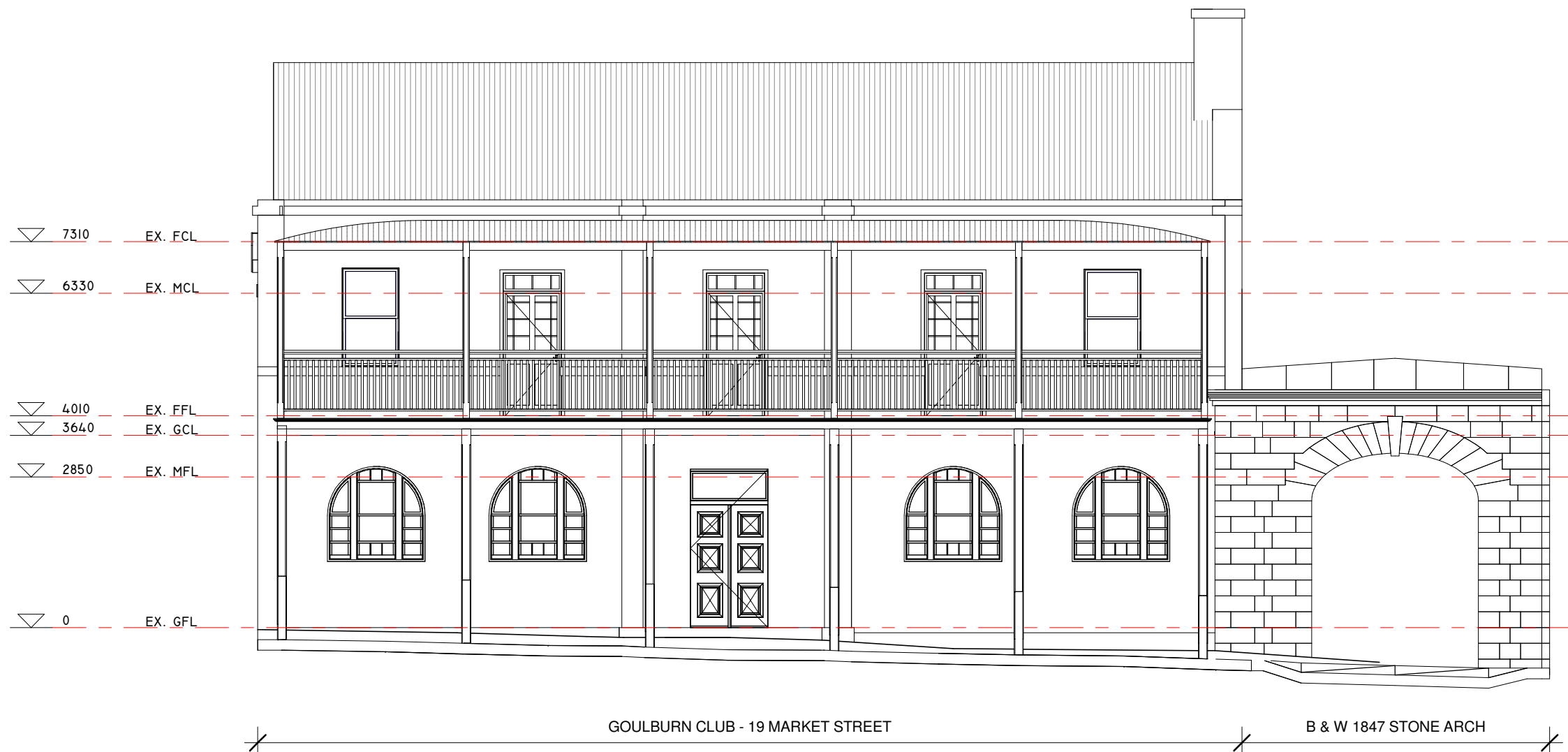
DRAWING SCALE  
**As indicated**

AT SHEET SIZE  
**A3 SHEET**

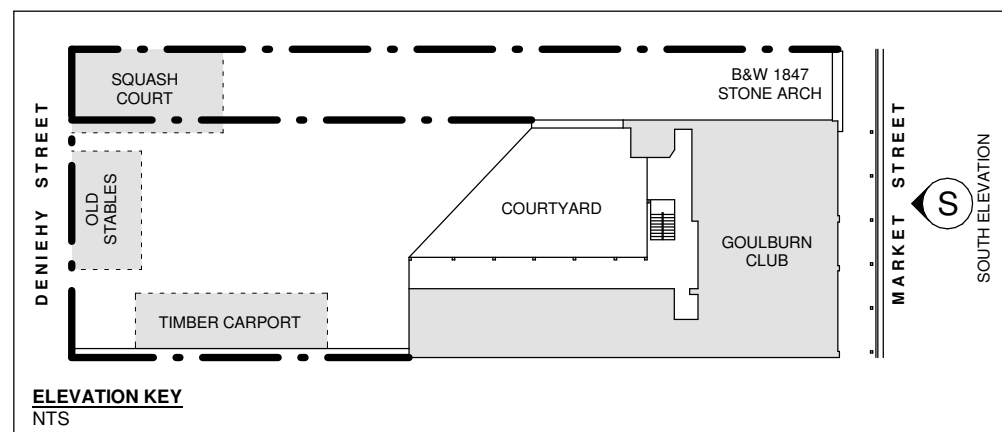
**TIM LEE ARCHITECTS**  
 residential commercial industrial  
**NOMINATED ARCHITECT:**  
 TIM LEE  
 NSW REG: 7304  
 ACT REG: 1030  
 P: 02 4822 5934  
 ABN: 71425067537  
 ROSS PLACE  
 GOULBURN NSW  
 2580

REFER TO :  
 SITE PLANS :  
 DEMOLITION PLANS :  
 FLOOR PLANS :  
 ELEVATIONS :  
 SECTIONS :  
 3D VIEWS :

INTERNAL ELEVATIONS :  
 DOOR & WINDOWS :  
 CUT & FILL PLAN :  
 SETOUT PLAN :  
 EROSION & SEDIMENT CONTROL :  
 LANDSCAPE PLAN :  
 NOTIFICATION PLAN :



**1** EXISTING SOUTH ELEVATION  
 1 : 100 @ A3

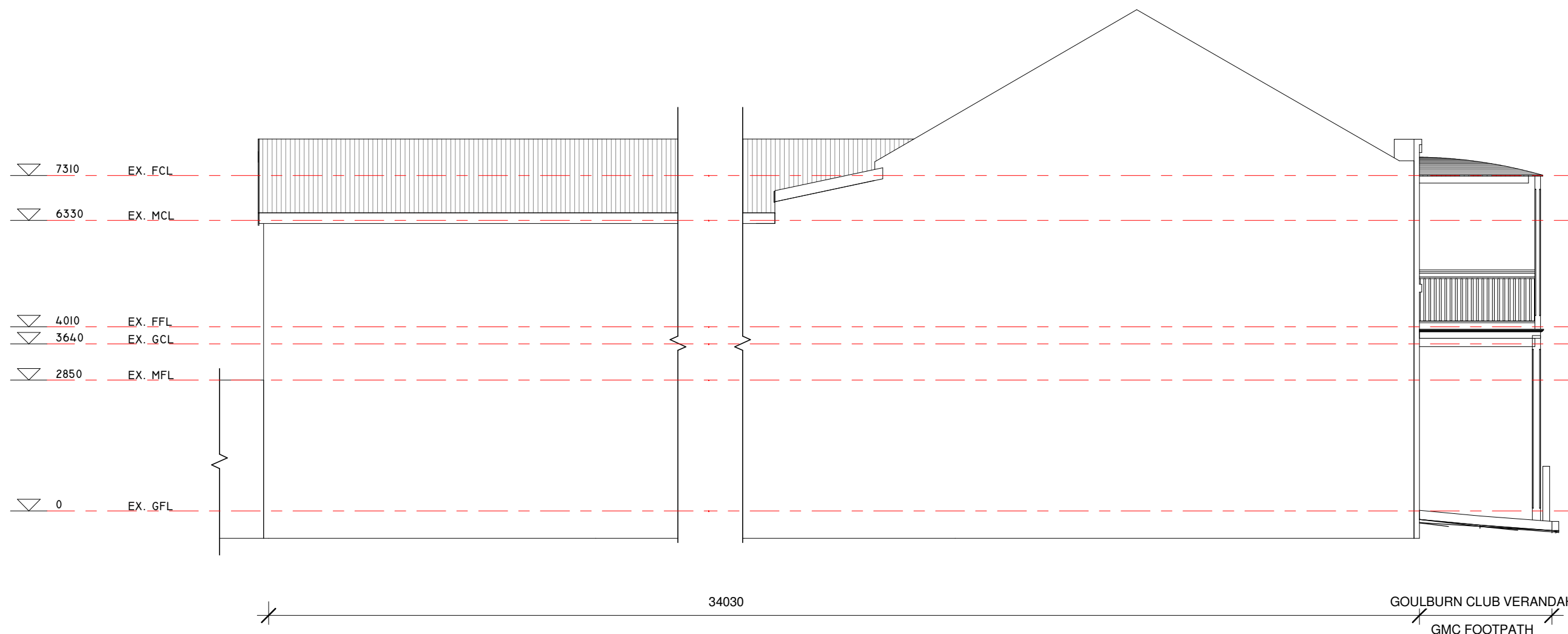


**ELEVATION KEY**  
 NTS

Figured dimensions take precedence. Do not scale drawings.  
 Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work.  
 All materials and workmanship to be in strict accordance with current Australian standards, BCA, local regulations and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.  
 COPYRIGHT TIM LEE ARCHITECTS  
 Drawings subject to copyright and may not be reproduced in any form without the written permission of the builder.

NOTE : ALL LEVELS SHOWN ARE BASED ON SUPPLIED 3RD PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ONSITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORK. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS.

ALL FLOOR LEVELS & GROUND LEVELS ARE ASSUMED & ARE TO BE CONFIRMED ONSITE, PRIOR TO COMMENCING ANY WORKS. ALL DIMENSIONS TO BE CONFIRMED ONSITE. SURVEYOR TO ESTABLISH BOUNDARY AND SET OUT BUILDINGS. ALL DIMENSIONS SUBJECT TO SITE SURVEY.



ISSUED FOR  
**CONCEPT C**  
 NOT FOR CONSTRUCTION

| REVISION | DESCRIPTION                          | DATE     |
|----------|--------------------------------------|----------|
| C        | CONCEPT C - TO TLIGNIS FOR REVIEW    | 30.10.19 |
| D        | CONCEPT D - ISSUE FOR CLIENT MEETING | 11.11.19 |

PROJECT TITLE  
**ALTERATION & ADDITIONS - NEW LIFT, FIRE & ACCESS UPGRADING**

CLIENT  
**GOULBURN CLUB**

DRAWING TITLE  
**EXISTING WEST ELEVATION**

LOT AND DEPOSITED PLAN NO.  
**LOT 1 - DP 61322**

STREET ADDRESS  
**19 MARKET STREET, GOULBURN, NSW 2580**

DRAWING VERIFIED BY  
**Approver**

DRAWN BY  
**Author**

JOB NUMBER  
**0718-1021**

DRAWING NO.  
**C-07**

ISSUE  
**D**

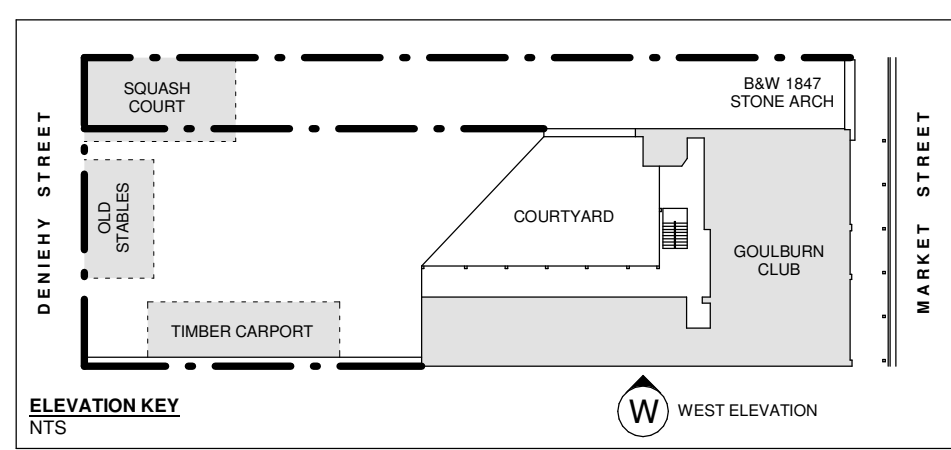
DRAWING COMMENCED  
**SEPT 18**

DRAWING SCALE  
**As indicated**

AT SHEET SIZE  
**A3 SHEET**

**TIM LEE ARCHITECTS**  
 residential commercial industrial  
**NOMINATED ARCHITECT:**  
 TIM LEE  
 NSW REG: 7304  
 ACT REG: 1030  
 P: 02 4822 5934  
 ABN: 71425067537  
 ROSS PLACE  
 GOULBURN NSW 2580

**1** EXISTING WEST ELEVATION  
 1:100 @ A3



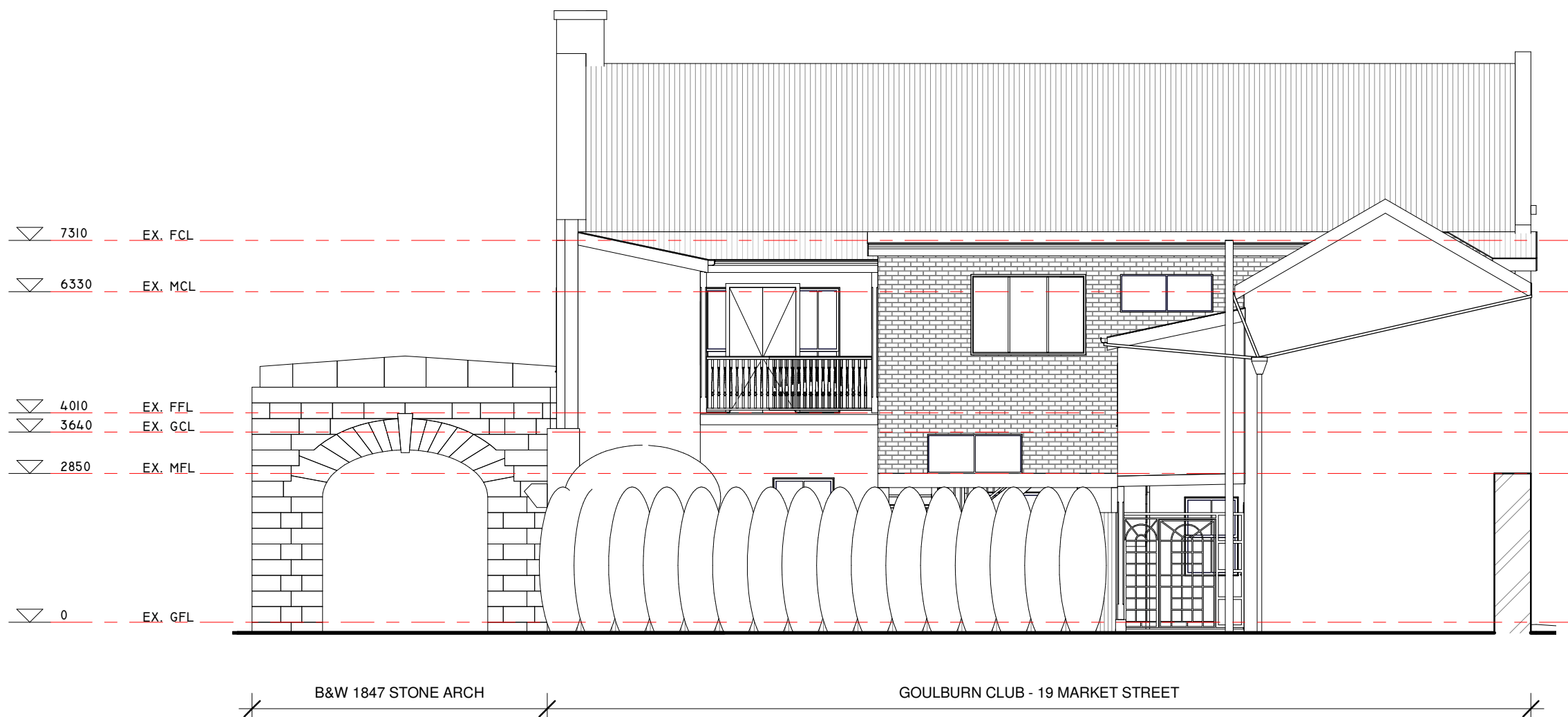
REFER TO :  
 SITE PLANS :  
 DEMOLITION PLANS :  
 FLOOR PLANS :  
 ELEVATIONS :  
 SECTIONS :  
 3D VIEWS :

INTERNAL ELEVATIONS :  
 DOOR & WINDOWS :  
 CUT & FILL PLAN :  
 SETOUT PLAN :  
 EROSION & SEDIMENT CONTROL :  
 LANDSCAPE PLAN :  
 NOTIFICATION PLAN :

Figured dimensions take precedence. Do not scale drawings.  
 Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work.  
 All materials and workmanship to be in strict accordance with current Australian standards, BCA, local regulations and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.  
 COPYRIGHT TIM LEE ARCHITECTS  
 Drawings subject to copyright and may not be reproduced in any form without the written permission of the builder.

NOTE : ALL LEVELS SHOWN ARE BASED ON SUPPLIED 3RD PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ONSITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORK. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS.

ALL FLOOR LEVELS & GROUND LEVELS ARE ASSUMED & ARE TO BE CONFIRMED ONSITE, PRIOR TO COMMENCING ANY WORKS. ALL DIMENSIONS TO BE CONFIRMED ONSITE. SURVEYOR TO ESTABLISH BOUNDARY AND SET OUT BUILDINGS. ALL DIMENSIONS SUBJECT TO SITE SURVEY.



ISSUED FOR  
**CONCEPT C**  
 NOT FOR CONSTRUCTION

**DRAWING AMENDMENTS**

| REVISION | DESCRIPTION                          | DATE     |
|----------|--------------------------------------|----------|
| C        | CONCEPT C - TO TLIGNIS FOR REVIEW    | 30.10.19 |
| D        | CONCEPT D - ISSUE FOR CLIENT MEETING | 11.11.19 |

PROJECT TITLE  
**ALTERATION & ADDITIONS - NEW LIFT, FIRE & ACCESS UPGRADING**

CLIENT  
**GOULBURN CLUB**

DRAWING TITLE  
**EXISTING NORTH ELEVATION**

LOT AND DEPOSITED PLAN NO.  
**LOT 1 - DP 61322**

STREET ADDRESS  
**19 MARKET STREET, GOULBURN, NSW 2580**

DRAWING VERIFIED BY  
**TL**

DRAWN BY  
**AW**

JOB NUMBER  
**0718-1021**

DRAWING NO.  
**C-08**

ISSUE  
**D**

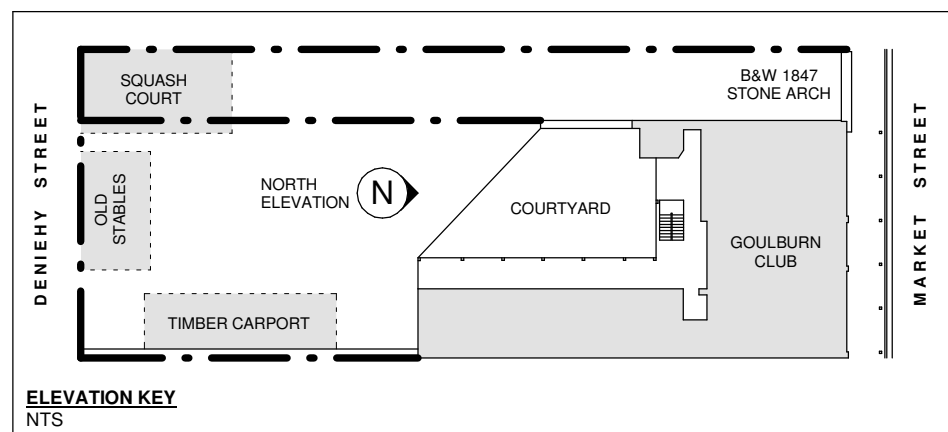
DRAWING COMMENCED  
**SEPT 18**

DRAWING SCALE  
**As indicated**

AT SHEET SIZE  
**A3 SHEET**

**TIM LEE ARCHITECTS**  
 residential commercial industrial  
**NOMINATED ARCHITECT:**  
 TIM LEE  
 NSW REG: 7304  
 ACT REG: 1030  
 P: 02 4822 5934  
 ABN: 71425067537  
 ROSS PLACE  
 GOULBURN NSW  
 2580

**1** EXISTING NORTH ELEVATION  
 1 : 100 @ A3

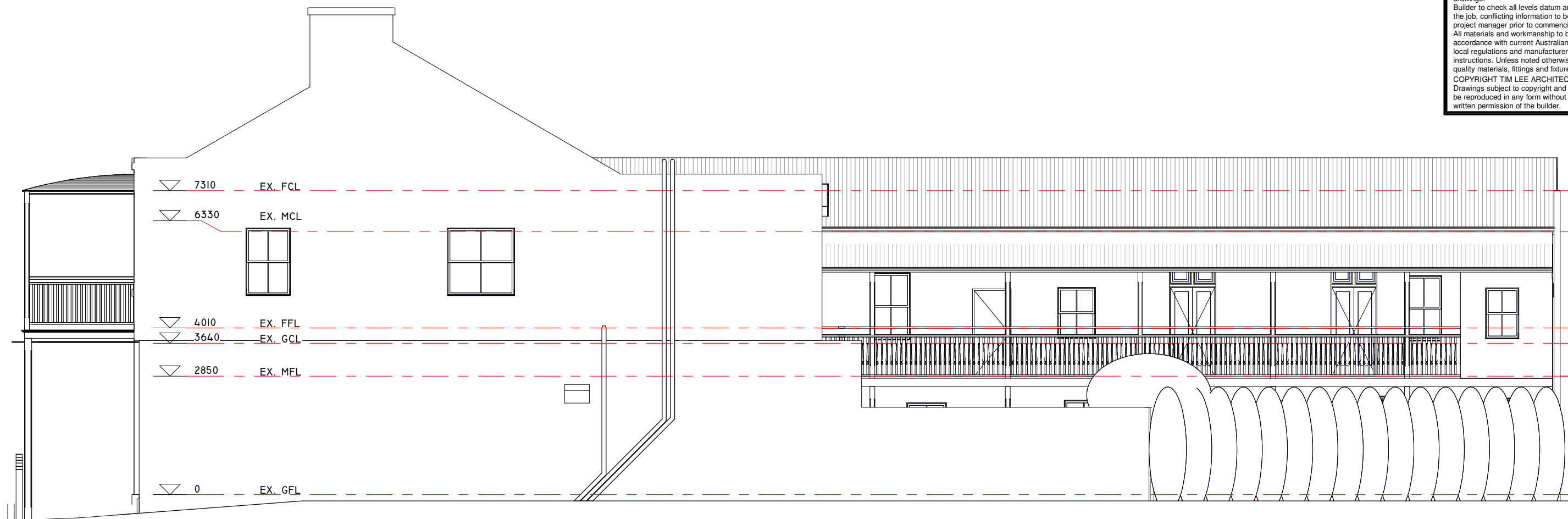


REFER TO :  
 SITE PLANS :  
 DEMOLITION PLANS :  
 FLOOR PLANS :  
 ELEVATIONS :  
 SECTIONS :  
 3D VIEWS :

INTERNAL ELEVATIONS :  
 DOOR & WINDOWS :  
 CUT & FILL PLAN :  
 SETOUT PLAN :  
 EROSION & SEDIMENT CONTROL :  
 LANDSCAPE PLAN :  
 NOTIFICATION PLAN :



Figured dimensions take precedence. Do not scale drawings.  
 Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work.  
 All materials and workmanship to be in strict accordance with current Australian standards, BCA, local regulations and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.  
 COPYRIGHT TIM LEE ARCHITECTS  
 Drawings subject to copyright and may not be reproduced in any form without the written permission of the builder. ©



ISSUED FOR  
**CONCEPT C**  
 NOT FOR CONSTRUCTION

**DRAWING AMENDMENTS**

| REVISION | DESCRIPTION                          | DATE     |
|----------|--------------------------------------|----------|
| C        | CONCEPT C - TO TLIGNIS FOR REVIEW    | 30.10.19 |
| D        | CONCEPT D - ISSUE FOR CLIENT MEETING | 11.11.19 |

PROJECT TITLE  
**ALTERATION & ADDITIONS - NEW LIFT, FIRE & ACCESS UPGRADING**

CLIENT  
**GOULBURN CLUB**

DRAWING TITLE  
**EXISTING EAST ELEVATION**

LOT AND DEPOSITED PLAN NO.  
**LOT 1 - DP 61322**

STREET ADDRESS  
**19 MARKET STREET, GOULBURN, NSW 2580**

DRAWING VERIFIED BY  
**Approver**

DRAWN BY  
**Author**

JOB NUMBER  
**0718-1021**

DRAWING NO.  
**C-09**

ISSUE  
**D**

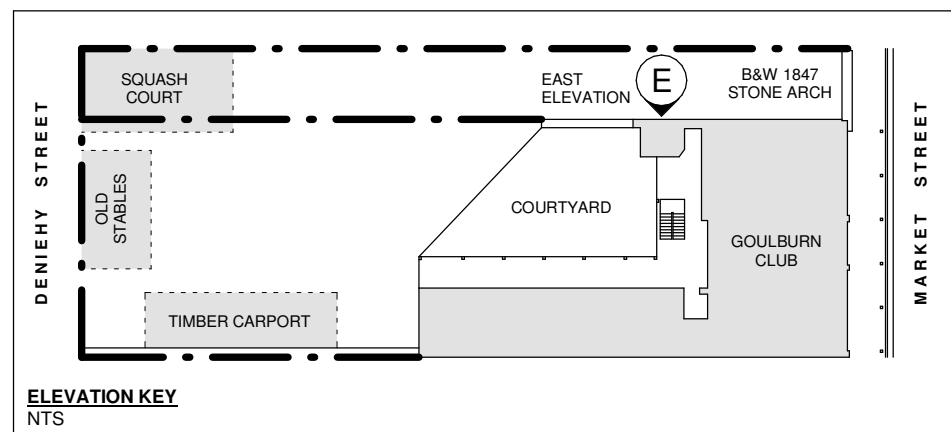
DRAWING COMMENCED  
**SEPT 18**

DRAWING SCALE  
**As indicated**

AT SHEET SIZE  
**A3 SHEET**

**TIM LEE ARCHITECTS**  
 residential commercial industrial  
**NOMINATED ARCHITECT:**  
 TIM LEE  
 NSW REG: 7304  
 ACT REG: 1030  
 P: 02 4822 5934  
 ABN: 71425067537  
 ROSS PLACE  
 GOULBURN NSW  
 2580

**1** EXISTING EAST ELEVATION  
 1 : 100 @ A3



NOTE : ALL LEVELS SHOWN ARE BASED ON SUPPLIED 3RD PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ONSITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORK. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS.

ALL FLOOR LEVELS & GROUND LEVELS ARE ASSUMED & ARE TO BE CONFIRMED ONSITE, PRIOR TO COMMENCING ANY WORKS. ALL DIMENSIONS TO BE CONFIRMED ONSITE. SURVEYOR TO ESTABLISH BOUNDARY AND SET OUT BUILDINGS. ALL DIMENSIONS SUBJECT TO SITE SURVEY.

- |                    |                              |
|--------------------|------------------------------|
| REFER TO :         | INTERNAL ELEVATIONS :        |
| SITE PLANS :       | DOOR & WINDOWS :             |
| DEMOLITION PLANS : | CUT & FILL PLAN :            |
| FLOOR PLANS :      | SETOUT PLAN :                |
| ELEVATIONS :       | EROSION & SEDIMENT CONTROL : |
| SECTIONS :         | LANDSCAPE PLAN :             |
| 3D VIEWS :         | NOTIFICATION PLAN :          |

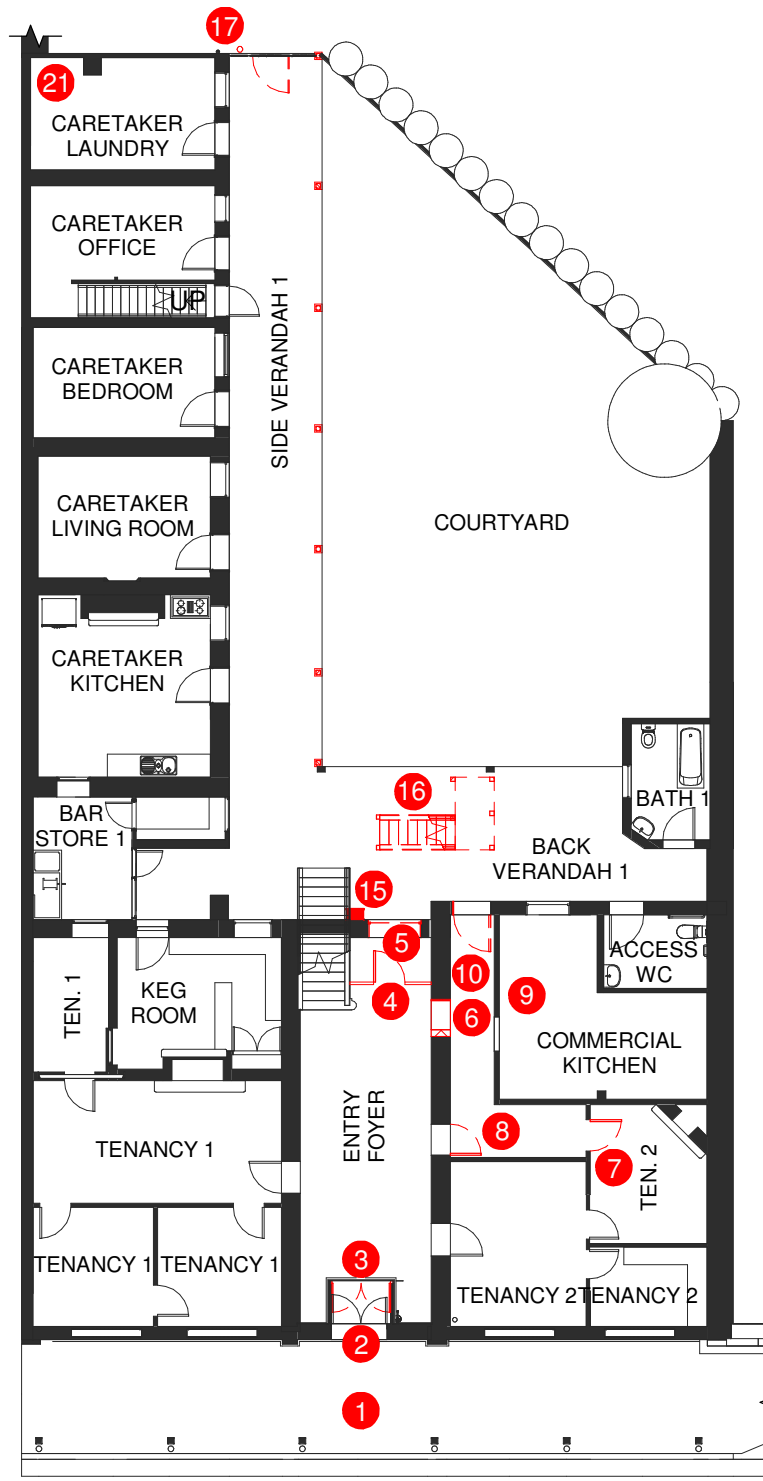
**DEMOLITION NOTES:**

- ANY DAMAGE RESULTING FROM THE WORKS MUST BE IMMEDIATELY RECTIFIED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
- PREPARE A DILAPIDATION REPORT FOR THE BUILDING AND SURROUNDING AREA PRIOR TO COMMENCING WORK. REFER TO SPECIFICATION.
- DEMOLITION SHALL BE CARRIED OUT SO AS TO CAUSE NO DISTURBANCE TO SURROUNDING STRUCTURES. CARE TO BE TAKEN BELOW SLAB LEVEL.
- LOCATE AND PREVENT ANY DAMAGE TO EXISTING SERVICES. IMMEDIATELY RECTIFY ANY DAMAGE OR INTERFERENCE TO THESE SERVICES AND PROVIDE TEMPORARY SERVICES WHILE REPAIRS ARE BEING CARRIED OUT.
- ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO PREVENT DAMAGE TO ALL ADJACENT WORK. SHOULD ANY DAMAGE OCCUR, THE CONTRACTOR SHALL MAKE GOOD TO THE SATISFACTION OF THE SUPERINTENDENT.
- IF AND WHEN OPENING UP ANY WORK, ANY CONDITIONS ARE FOUND TO BE UNSOUND OR UNSAFE THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE SUPERINTENDENT FOR HIS INSTRUCTIONS.
- PEG AND LABEL ALL CUT / REDUNDANT SERVICES FOR LATER IDENTIFICATION.
- THE CONTRACTOR SHALL REMOVE FROM SITE ALL DEBRIS AND ASSOCIATED WASTE.
- ONCE DEMOLITION'S ARE COMPLETED AND PHOTOGRAPHIC RECORDS TAKEN THE CONTRACTOR SHALL PREPARE AREAS FOR NEW WORK.
- GENERALLY LOCATE AND PROTECT ALL EXISTING SERVICE LINES, CONDUIT RUNS, ETC. PROVIDE AS CONSTRUCTED DRAWINGS SHOWING EXACT LOCATION OF ALL SERVICES. IMMEDIATELY RECTIFY ANY DAMAGE OR INTERFERENCE TO THESE SERVICES AND PROVIDE TEMPORARY SERVICES WHILE REPAIRS ARE BEING CARRIED OUT.

**ASBESTOS REMOVAL NOTES:**

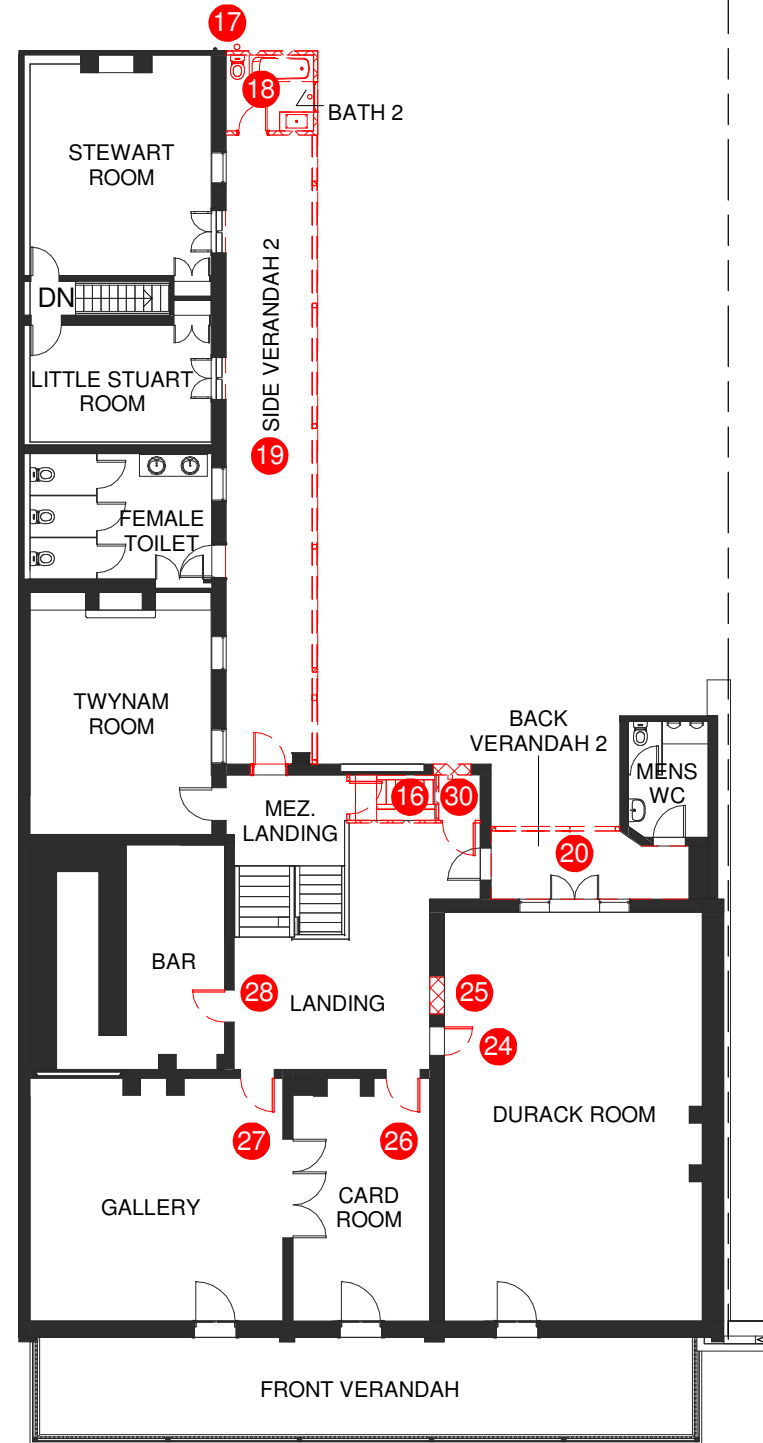
THE ASSESSMENT, REMOVAL & DISPOSAL OF ASBESTOS TO MEET ALL AUSTRALIAN STANDARDS, NCC (BCA) REQUIREMENTS & "HOW TO SAFELY REMOVE ASBESTOS - CODE OF PRACTICE" APRIL 2016 BY SAFE WORK AUSTRALIA, APPROVED CODE OF PRACTICE UNDER SECTION 274 OF THE "WORK HEALTH & SAFETY ACT" (THE WHS ACT) & THE "WORK HEALTH & SAFETY REGULATIONS" (THE WHS REGULATIONS).

IF AND WHEN ASBESTOS IS FOUND, WORK IS TO STOP IMMEDIATELY & A LICENSED ASBESTOS REMOVALIST IS TO BE ENGAGED TO REMOVE THE ASBESTOS.



MARKET STREET

**1** DEMOLITION GROUND FLOOR PLAN  
1 : 200 @ A3



MARKET STREET

**2** DEMOLITION MEZZANINE / FIRST FLOOR PLAN  
1 : 200 @ A3

**LEGEND**

- EXISTING (Black outline)
- DEMOLISHED (Red hatched area)
- PROPOSED (Blue hatched area)

**LEGEND**

- 1** MARKET STREET ENTRY - ELIMINATING ENTRY STEP TO MEET AS1428.1.
- 2 TO 5** ENTRANCE TO BUILDING - FRONT ENTRY DOORS & FOYER.
- 6 TO 10** GROUND FLOOR KITCHEN & COMMERCIAL TENANCY.
- 11 TO 16** LIFT, LIFT LOBBY & REMOVAL OF EXISTING EXTERNAL STAIR.
- 17 TO 20** NEW EXTERNAL STEEL FIRE EGRESS REQUIRED STAIR.
- 21** UPGRADING OF EXISTING GROUND FLOOR LAUNDRY.
- 22 TO 30** FIRST FLOOR LEVEL ALTERATIONS & UPGRADING.

**EXISTING AREAS**

|                         |                       |
|-------------------------|-----------------------|
| EX. FF BACK VERANDAH 2  | 9.92 m <sup>2</sup>   |
| EX. GF BACK VERANDAH 1  | 36.96 m <sup>2</sup>  |
| EX. MEZ SIDE VERANDAH 2 | 40.27 m <sup>2</sup>  |
| EX. GF SIDE VERANDAH 1  | 46.40 m <sup>2</sup>  |
| EX. FF FRONT VERANDAH   | 50.16 m <sup>2</sup>  |
| EX. FOOTPATH            | 56.51 m <sup>2</sup>  |
| EX. MEZZANINE           | 137.09 m <sup>2</sup> |
| EX. FIRST FLOOR         | 241.98 m <sup>2</sup> |
| EX. GROUND FLOOR        | 345.61 m <sup>2</sup> |

|           |                        |
|-----------|------------------------|
| SITE AREA | 1522.98 m <sup>2</sup> |
|-----------|------------------------|

- REFER TO :
- SITE PLANS :
  - DEMOLITION PLANS :
  - FLOOR PLANS :
  - ELEVATIONS :
  - SECTIONS :
  - 3D VIEWS :
  - INTERNAL ELEVATIONS :
  - DOOR & WINDOWS :
  - CUT & FILL PLAN :
  - SETOUT PLAN :
  - EROSION & SEDIMENT CONTROL :
  - LANDSCAPE PLAN :
  - NOTIFICATION PLAN :

ISSUED FOR  
**PRELIMINARY**  
**NOT FOR CONSTRUCTION**  
REFER TO GENERAL NOTES SHEET

**DRAWING AMENDMENTS**

| REVISION | DESCRIPTION                              | DATE     |
|----------|--|----------|
| A        | CONCEPT C - PROPOSED ENTRY RAMPS SECTION | 08.07.19 |
| B        | CONCEPT C - MEETING WITH CLIENT          | 16.10.19 |
| C        | CONCEPT C - TO TLIGNIS FOR REVIEW        | 30.10.19 |
| D        | CONCEPT D - ISSUE FOR CLIENT MEETING     | 11.11.19 |

PROJECT TITLE  
ALTERATION & ADDITIONS - NEW LIFT, FIRE & ACCESS UPGRADING

CLIENT  
GOULBURN CLUB

Figured dimensions take precedence. Do not scale drawings.  
Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work.  
All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.  
COPYRIGHT TIM LEE ARCHITECTS  
Drawings subject to copyright and may not be reproduced in any form without the written permission of the builder.

**TIM LEE ARCHITECTS**  
residential commercial industrial

P: 02 4822 5934  
ABN: 71425067537  
ROSS PLACE  
GOULBURN NSW  
2580

NOMINATED ARCHITECT:  
**TIM LEE**  
NSW REG: 7304  
ACT REG: 1030

DRAWING TITLE  
DEMOLITION OVERALL FLOOR PLANS

LOT AND DEPOSITED PLAN NO.  
LOT 1 - DP 61322

STREET ADDRESS  
19 MARKET STREET, GOULBURN, NSW 2580

|                               |              |                     |           |
|-------------------------------|--------------|---------------------|-----------|
| DRAWING COMMENCED             | SEPT 18      | DRAWING VERIFIED BY | T.L.      |
| DRAWING SCALE                 | As indicated | DRAWN BY            | AW        |
| AT SHEET SIZE                 | A3 SHEET     | JOB NUMBER          | 0718-1021 |
| DRAWING IDENTIFICATION NUMBER | C-10 OF      | AMENDMENT ISSUE     | D         |

- 3 REMOVE EXISTING DOUBLE ENTRY DOOR WITH ALL FITTINGS & FIXTURES, ARCHITRAVES & DETAILING SHOWN HATCHED. PROTECT & SECURELY STORE ONSITE. PREPARE EXISTING ENTRY FOR NEW GLAZED AUTOMATIC SLIDING DOORS. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.
- 4 REMOVE EXISTING TIMBER SCREEN / GATE SHOWN HATCHED. PROTECT & SECURELY STORE ONSITE DURING DEMOLITION WORKS. THE TIMBER SCREEN / GATE TO BE RE-USED ON GROUND FLOOR - REFER TO FLOOR PLANS FOR NEW LOCATION. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.
- 5 FORM NEW OPENING IN WALL & REMOVE EXISTING STAINED GLASS WINDOW SHOWN HATCHED. PROTECT & SECURELY STORE THE STAINED GLASS WINDOW ONSITE DURING DEMOLITION WORKS. STAINED GLASS WINDOW TO BE RE-USED ON THE GROUND FLOOR - REFER TO FLOOR PLAN FOR NEW LOCATION. PROVIDE TEMPORARY WALL & WINDOW SUPPORT AS REQUIRED & AS SPECIFIED BY ENGINEER TO MAINTAIN BUILDING INTEGRITY WHILST WORKS ARE BEING COMPLETED. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.
- 6 REMOVE EXISTING DOOR & FORM NEW OPENING IN WALL SHOWN HATCHED. PREPARE AREA FOR NEW WORKS. DOOR, DOOR HARDWARE & ARCHITRAVE TO BE KEPT SECURELY ONSITE FOR LATER RE-USE. PROVIDE TEMPORARY WALL & WINDOW SUPPORT AS REQUIRED & AS SPECIFIED BY ENGINEER TO MAINTAIN BUILDING INTEGRITY WHILST WORKS ARE BEING COMPLETED. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.
- 7 EXISTING DOOR TO BE CLOSED & PERMANENTLY LOCKED. PREPARE AREA FOR NEW KITCHEN PANTRY STORAGE. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS
- 21 STRIP OUT ALL FITTINGS & FIXTURES, SHELVING, WALL BRACKETS, NAILS, ETC TO EXISTING LAUNDRY SHOWN HATCHED. PREPARE ARE FOR NEW LAUNDRY AND NEW SERVICES/LINES. CAP OFF ALL REDUNDANT SERVICES LINES. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.

- 8 EXISTING DOOR TO BE CLOSED & PERMANENTLY LOCKED. PREPARE AREA FOR NEW KITCHEN PANTRY STORAGE. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.
- 10 REMOVE & RE-SWING DOOR SHOWN DASHED TO OPEN OUTWARDS - REFER TO FLOOR PLANS. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS
- 12 PREPARE AREA FOR NEW UNDERCROFT LINING, EXISTING SERVICES TO BE UPGRADED & REDUNDANT SERVICES TO BE CAPPED OFF & REMOVED, SCABBLE CONCRETE SLAB AS REQUIRED FOR NEW RAMPS / FLOORING. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.
- 13 CONCRETE SLAB AS REQUIRED FOR NEW RAMPS / FLOORING. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.
- 14 REMOVE & RELOCATE FIRE HOSE REEL - REFER TO FLOOR PLANS FOR NEW LOCATION. CAP OFF ALL REDUNDANT SERVICE LINES BELOW FLOOR LEVEL / BEHIND WALL. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.
- 15 REMOVE EXISTING EXTERNAL STAIR & ACCESS DOOR AT MEZZANINE LEVEL SHOWN HATCHED. PREPARE AREA FOR NEW WORKS. PROVIDE TEMPORARY BALUSTRADING FOR PROTECTION WHERE FALLS FROM A HEIGHT COULD OCCUR WHILST WORKS ARE BEING CARRIED OUT. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.
- 16 REMOVE EXISTING VENT PIPE SHOWN HATCHED. PREPARE AREA FOR NEW SERVICES/LINES. CAP OFF ALL REDUNDANT SERVICES LINES. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.
- 17 REMOVE EXISTING VENT PIPE SHOWN HATCHED. PREPARE AREA FOR NEW SERVICES/LINES. CAP OFF ALL REDUNDANT SERVICES LINES. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.
- 19 UPDGRADING OF SIDE VERANDAH - REFER TO ENGINEER'S DETAILS FOR WHICH VERANDAH COLUMNS / BEAMS WILL BE RETAINED & WHICH WILL BE REMOVED & NEW COLUMNS / BEAMS INSTALLED. PROVIDE TEMPORARY BALUSTRADING FOR PROTECTION WHERE FALLS FROM A HEIGHT COULD OCCUR WHILST WORKS ARE BEING CARRIED OUT. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.
- 39 REMOVE & RE-SWING GATE SHOWN DASHED TO OPEN OUTWARDS - REFER TO FLOOR PLANS. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS

- 1 SCABBLE EXISTING FOOTPATH & REMOVE SURFACE AS REQUIRED SHOWN HATCHED & PREPARE AREA FOR NEW WALKWAY, LANDINGS, VENTS & BOLARDS. CARE TO BE TAKEN DURING WORKS TO PROTECT THE EXISTING BUILDING, COLUMNS & VENTS. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.



**1** DEMOLITION (MANAGEMENT PLAN) GROUND FLOOR  
1 : 100 @ A3

ISSUED FOR  
**PRELIMINARY**  
**NOT FOR CONSTRUCTION**  
REFER TO GENERAL NOTES SHEET

| DRAWING AMENDMENTS |  |          | PROJECT TITLE  | <b>TIM LEE ARCHITECTS</b><br>residential commercial industrial<br>P: 02 4822 5934<br>ABN: 71425067537<br>ROSS PLACE<br>GOULBURN NSW<br>2580<br>NOMINATED ARCHITECT:<br><b>TIM LEE</b><br>NSW REG: 7304<br>ACT REG: 1030 | DRAWING TITLE                             | DRAWING COMMENCED | DRAWING VERIFIED BY |
|--------------------|--|----------|--|---|---|-------------------|---------------------|
| REVISION           | DESCRIPTION                              | DATE     | ALTERATION & ADDITIONS - NEW LIFT, FIRE & ACCESS UPGRADING   |   | DEMOLITION (MANAGEMENT PLAN) GROUND FLOOR | SEPT 18           | TL                  |
| A                  | CONCEPT C - PROPOSED ENTRY RAMPS SECTION | 08.07.19 | CLIENT<br><b>GOULBURN CLUB</b><br>Figured dimensions take precedence. Do not scale drawings.<br>Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work.<br>All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.<br>COPYRIGHT TIM LEE ARCHITECTS<br>Drawings subject to copyright and may not be reproduced in any form without the written permission of the builder. | LOT AND DEPOSITED PLAN NO.<br><b>LOT 1 - DP 61322</b><br>STREET ADDRESS<br><b>19 MARKET STREET, GOULBURN, NSW 2580</b>  | DRAWING SCALE                             | DRAWN BY          |                     |
| B                  | CONCEPT C - MEETING WITH CLIENT          | 16.10.19 |  |   | 1 : 100                                   | AW                |                     |
| C                  | CONCEPT C - TO TL/IGNIS FOR REVIEW       | 30.10.19 |  |   | AT SHEET SIZE                             | JOB NUMBER        |                     |
| D                  | CONCEPT D - ISSUE FOR CLIENT MEETING     | 11.11.19 |  |   | A3 SHEET                                  | 0718-1021         |                     |
|                    |  |          |  |   | DRAWING IDENTIFICATION NUMBER             | AMENDMENT ISSUE   |                     |
|                    |  |          |  |   | C-11 OF                                   | D                 |                     |

16 REMOVE EXISTING EXTERNAL STAIR & ACCESS DOOR AT MEZZANINE LEVEL SHOWN HATCHED. PREPARE AREA FOR NEW WORKS. PROVIDE TEMPORARY BALUSTRADING FOR PROTECTION WHERE FALLS FROM A HEIGHT COULD OCCUR WHILST WORKS ARE BEING CARRIED OUT. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.

17 REMOVE EXISTING DOWNPIPES & VENT PIPE SHOWN HATCHED. PREPARE AREA FOR NEW SERVICES/LINES. CAP OFF ALL REDUNDANT SERVICES LINES. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.

18 REMOVE EXISTING BATHROOM, INCLUDING ALL FITTINGS & FIXTURES, WALLS, WINDOWS, & CEILING LINING. CAP OFF ALL REDUNDANT SERVICES LINES. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.

19 UPGRADING OF SIDE / BACK VERANDAH - REMOVE BALUSTRADES, FLOOR BEAMS, ROOFING, GUTTERS, DECKING & COLUMNS / BEAMS. PREPARE AREA FOR NEW WORKS. REFER TO ENGINEER'S DETAILS FOR WHICH VERANDAH COLUMNS / BEAMS WILL BE RETAINED & WHICH WILL BE REMOVED & NEW COLUMNS / BEAMS INSTALLED. PROVIDE TEMPORARY BALUSTRADING FOR PROTECTION WHERE FALLS FROM A HEIGHT COULD OCCUR WHILST WORKS ARE BEING CARRIED OUT. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.

22 FORM NEW OPENING IN WALL FOR NEW LIFT & REMOVE WINDOW BELOW & BRICK INFILL TO MATCH EXISTING. PROVIDE TEMPORARY WALL & OPENING SUPPORT AS REQUIRED & AS SPECIFIED BY ENGINEER TO MAINTAIN BUILDING INTEGRITY WHILST WORKS ARE BEING COMPLETED. PROVIDE TEMPORARY BALUSTRADING FOR PROTECTION WHERE FALLS FROM A HEIGHT COULD OCCUR WHILST WORKS ARE BEING CARRIED OUT. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.

23 FORM NEW OPENING IN BALUSTRADE FOR NEW LIFT LANDING. PROVIDE TEMPORARY BALUSTRADING FOR PROTECTION WHERE FALLS FROM A HEIGHT COULD OCCUR WHILST WORKS ARE BEING CARRIED OUT. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.

24 REMOVE EXISTING DOOR WITH ALL FITTINGS, FIXTURES AND ARCHITRAVES SHOWN HATCHED. PREPARE AREA FOR NEW INFILL TO MATCH EXISTING. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.

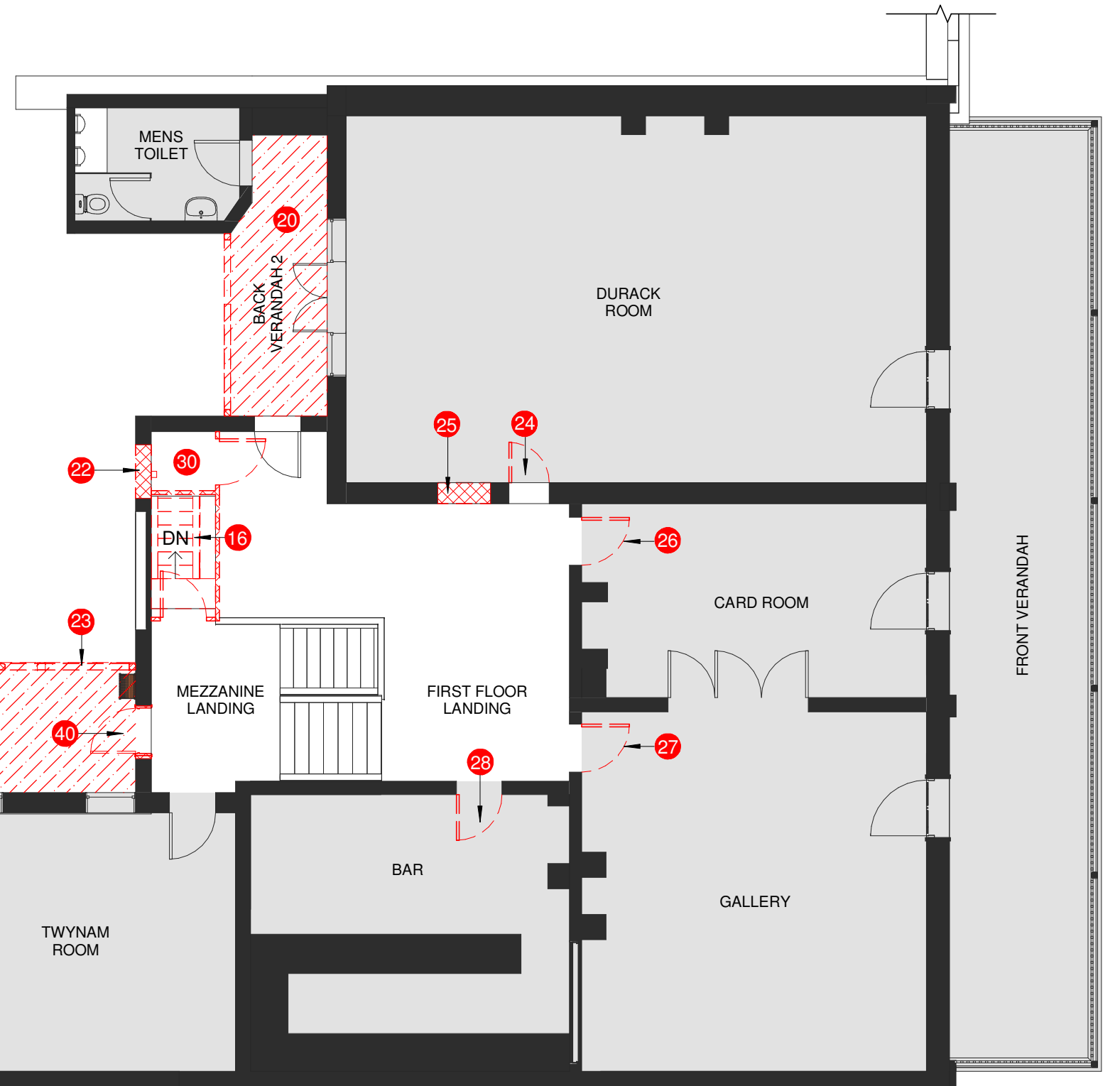
25 FORM NEW DOOR OPENING SHOWN HATCHED. PREPARE AREA FOR NEW WORK. PROVIDE TEMPORARY WALL & OPENING SUPPORT AS REQUIRED & AS SPECIFIED BY ENGINEER TO MAINTAIN BUILDING INTEGRITY WHILST WORKS ARE BEING COMPLETED. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.

26 REMOVE & RE-SWING DOORS SHOWN DASHED TO OPEN OUTWARDS - REFER TO FLOOR PLANS. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.

28 REMOVE EXISTING DOOR SHOWN DASHED. PREPARE DOOR WITH NEW PARLIMENT HINGE & RE-HANG - REFER TO FLOOR PLANS. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.

30 REMOVE EXISTING TELEPHONE BOOTH SHOWN DASHED. RELOCATE TO NEW POSITION UNDER STAIRS - REFER TO FLOOR PLANS. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.

40 REMOVE EXISTING DOOR & FORM NEW DOOR OPENING SHOWN HATCHED. PREPARE AREA FOR NEW WORK. PROVIDE TEMPORARY WALL & OPENING SUPPORT AS REQUIRED & AS SPECIFIED BY ENGINEER TO MAINTAIN BUILDING INTEGRITY WHILST WORKS ARE BEING COMPLETED. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.



1 DEMOLITION (MANAGEMENT PLAN) MEZZANINE / FIRST FLOOR  
1 : 100 @ A3

REFER TO DWG xxxx FOR DEMOLITION NOTES.

ISSUED FOR  
**PRELIMINARY**  
**NOT FOR CONSTRUCTION**  
REFER TO GENERAL NOTES SHEET

| DRAWING AMENDMENTS |  |          | PROJECT TITLE  | <b>TIM LEE ARCHITECTS</b><br><small>residential commercial industrial</small><br>P: 02 4822 5934<br>ABN: 71425067537<br>ROSS PLACE<br>GOULBURN NSW<br>2580<br>NOMINATED ARCHITECT:<br><b>TIM LEE</b><br>NSW REG: 7304<br>ACT REG: 1030 | DRAWING TITLE  | DRAWING COMMENCED | DRAWING VERIFIED BY |
|--------------------|--|----------|--|--|--|-------------------|---------------------|
| REVISION           | DESCRIPTION                              | DATE     | ALTERATION & ADDITIONS - NEW LIFT, FIRE & ACCESS UPGRADING   |  | DEMOLITION (MANAGEMENT PLAN) MEZZANINE / FIRST FLOOR | SEPT 18           | TL                  |
| A                  | CONCEPT C - PROPOSED ENTRY RAMPS SECTION | 08.07.19 | CLIENT<br><b>GOULBURN CLUB</b><br>Figured dimensions take precedence. Do not scale drawings.<br>Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work.<br>All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.<br>COPYRIGHT TIM LEE ARCHITECTS<br>Drawings subject to copyright and may not be reproduced in any form without the written permission of the builder. | LOT AND DEPOSITED PLAN NO.   | DRAWING SCALE  | DRAWN BY          |                     |
| B                  | CONCEPT C - MEETING WITH CLIENT          | 16.10.19 |  | LOT 1 - DP 61322   | 1 : 100  | AW                |                     |
| C                  | CONCEPT C - TO TL/IGNIS FOR REVIEW       | 30.10.19 |  | STREET ADDRESS   | A3 SHEET   | JOB NUMBER        |                     |
| D                  | CONCEPT D - ISSUE FOR CLIENT MEETING     | 11.11.19 |  | 19 MARKET STREET, GOULBURN, NSW 2580   | C-12 OF  | 0718-1021         |                     |
|                    |  |          |  |  | DRAWING IDENTIFICATION NUMBER                        | AMENDMENT ISSUE   |                     |
|                    |  |          |  |  | C-12 OF  | D                 |                     |

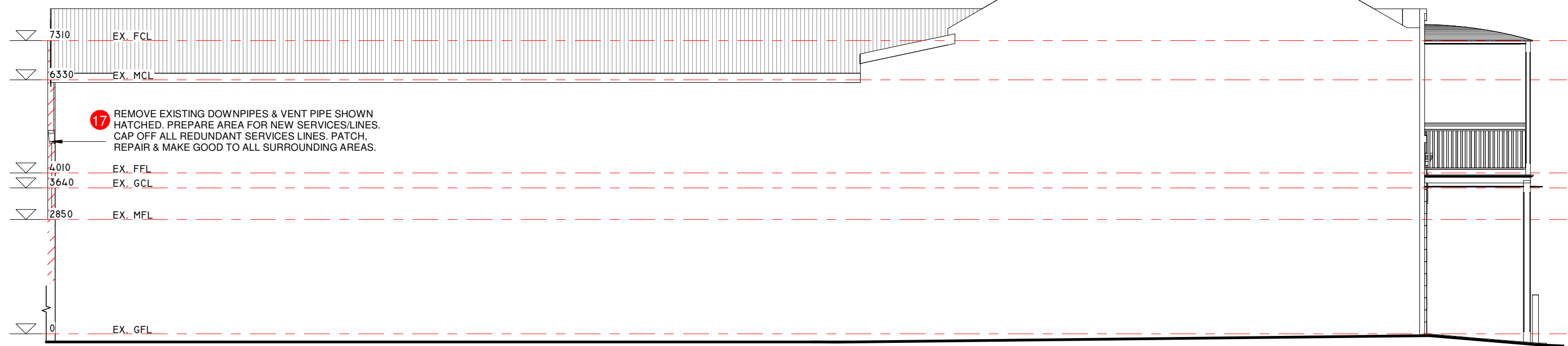
NOTE : ALL LEVELS SHOWN ARE BASED ON SUPPLIED 3RD PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ONSITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORK. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS.

**ALL FLOOR LEVELS & GROUND LEVELS ARE ASSUMED & ARE TO BE CONFIRMED ONSITE, PRIOR TO COMMENCING ANY WORKS. ALL DIMENSIONS TO BE CONFIRMED ONSITE. SURVEYOR TO ESTABLISH BOUNDARY AND SET OUT BUILDINGS. ALL DIMENSIONS SUBJECT TO SITE SURVEY.**

REFER TO :  
 SITE PLANS :  
 DEMOLITION PLANS :  
 FLOOR PLANS :  
 ELEVATIONS :  
 SECTIONS :  
 3D VIEWS :

INTERNAL ELEVATIONS :  
 DOOR & WINDOWS :  
 CUT & FILL PLAN :  
 SETOUT PLAN :  
 EROSION & SEDIMENT CONTROL :  
 LANDSCAPE PLAN :  
 NOTIFICATION PLAN :

Figured dimensions take precedence. Do not scale drawings.  
 Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work.  
 All materials and workmanship to be in strict accordance with current Australian standards, BCA, local regulations and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.  
 COPYRIGHT TIM LEE ARCHITECTS  
 Drawings subject to copyright and may not be reproduced in any form without the written permission of the builder.



**1** DEMOLITION WEST ELEVATION  
 1 : 100 @ A3

ISSUED FOR  
**CONCEPT C**  
 NOT FOR CONSTRUCTION

| REVISION | DESCRIPTION                             | DATE     |
|----------|---|----------|
| A        | CONCEPT C - PROPOSED ENTRY RAMP SECTION | 08.07.19 |
| B        | CONCEPT C - MEETING WITH CLIENT         | 16.10.19 |
| C        | CONCEPT C - TO ALIGN FOR REVIEW         | 30.10.19 |
| D        | CONCEPT D - ISSUE FOR CLIENT MEETING    | 11.11.19 |

PROJECT TITLE  
**ALTERATION & ADDITIONS - NEW LIFT, FIRE & ACCESS UPGRADING**

CLIENT  
**GOULBURN CLUB**

DRAWING TITLE  
**DEMOLITION ELEVATIONS 1**

LOT AND DEPOSITED PLAN NO.  
**LOT 1 - DP 61322**

STREET ADDRESS  
**19 MARKET STREET, GOULBURN, NSW 2580**

DRAWING VERIFIED BY  
**TL**

DRAWN BY  
**AW**

JOB NUMBER  
**0718-1021**

DRAWING NO.  
**C-13**

ISSUE  
**D**

DRAWING COMMENCED  
**SEPT 18**

DRAWING SCALE  
**1 : 100**

AT SHEET SIZE  
**A3 SHEET**

**TIM LEE ARCHITECTS**  
 residential commercial industrial  
**NOMINATED ARCHITECT:**  
 TIM LEE  
 NSW REG: 7304  
 ACT REG: 1030  
 P: 02 4822 5934  
 ABN: 71425067537  
 ROSS PLACE  
 GOULBURN NSW  
 2580

1 SCABBLE EXISTING FOOTPATH & REMOVE SURFACE AS REQUIRED SHOWN HATCHED & PREPARE AREA FOR NEW WALKWAY, LANDINGS, VENTS & BOLARDS. CARE TO BE TAKEN DURING WORKS TO PROTECT THE EXISTING BUILDING, COLUMNS & VENTS. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.



**2** DEMOLITION SOUTH ELEVATION  
 1 : 100 @ A3

REFER TO DWG xxxx FOR DEMOLITION NOTES.

NOTE : ALL LEVELS SHOWN ARE BASED ON SUPPLIED 3RD PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ONSITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORK. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS.

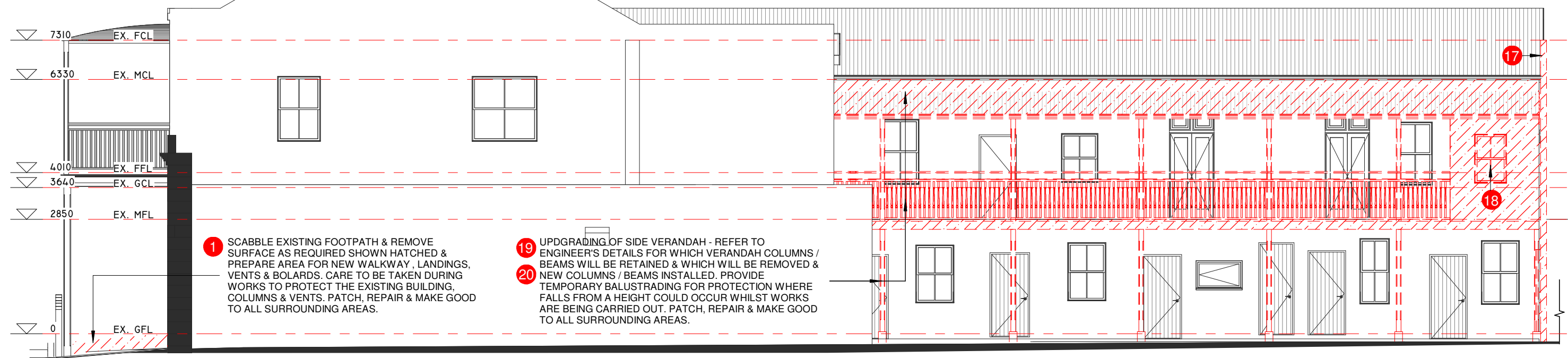
**ALL FLOOR LEVELS & GROUND LEVELS ARE ASSUMED & ARE TO BE CONFIRMED ONSITE, PRIOR TO COMMENCING ANY WORKS. ALL DIMENSIONS TO BE CONFIRMED ONSITE. SURVEYOR TO ESTABLISH BOUNDARY AND SET OUT BUILDINGS. ALL DIMENSIONS SUBJECT TO SITE SURVEY.**

REFER TO :  
 SITE PLANS :  
 DEMOLITION PLANS :  
 FLOOR PLANS :  
 ELEVATIONS :  
 SECTIONS :  
 3D VIEWS :

INTERNAL ELEVATIONS :  
 DOOR & WINDOWS :  
 CUT & FILL PLAN :  
 SETOUT PLAN :  
 EROSION & SEDIMENT CONTROL :  
 LANDSCAPE PLAN :  
 NOTIFICATION PLAN :

- 17 REMOVE EXISTING VENT PIPE SHOWN HATCHED. PREPARE AREA FOR NEW SERVICES/LINES. CAP OFF ALL REDUNDANT SERVICES LINES. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.
- 18 REMOVE EXISTING BATHROOM, INCLUDING ALL FITTINGS & FIXTURES, WALLS, WINDOWS, & CEILING LINING. CAP OFF ALL REDUNDANT SERVICES LINES. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.

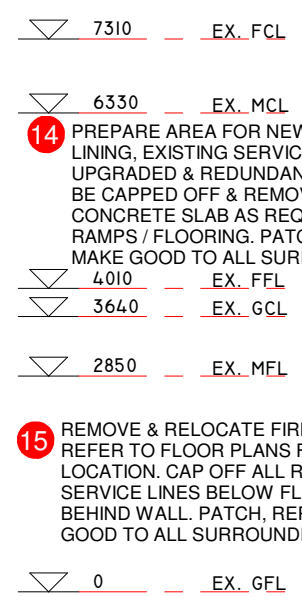
Figured dimensions take precedence. Do not scale drawings.  
 Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work.  
 All materials and workmanship to be in strict accordance with current Australian standards, BCA, local regulations and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.  
 COPYRIGHT TIM LEE ARCHITECTS  
 Drawings subject to copyright and may not be reproduced in any form without the written permission of the builder.



**1 DEMOLITION EAST ELEVATION**

1 : 100 @ A3

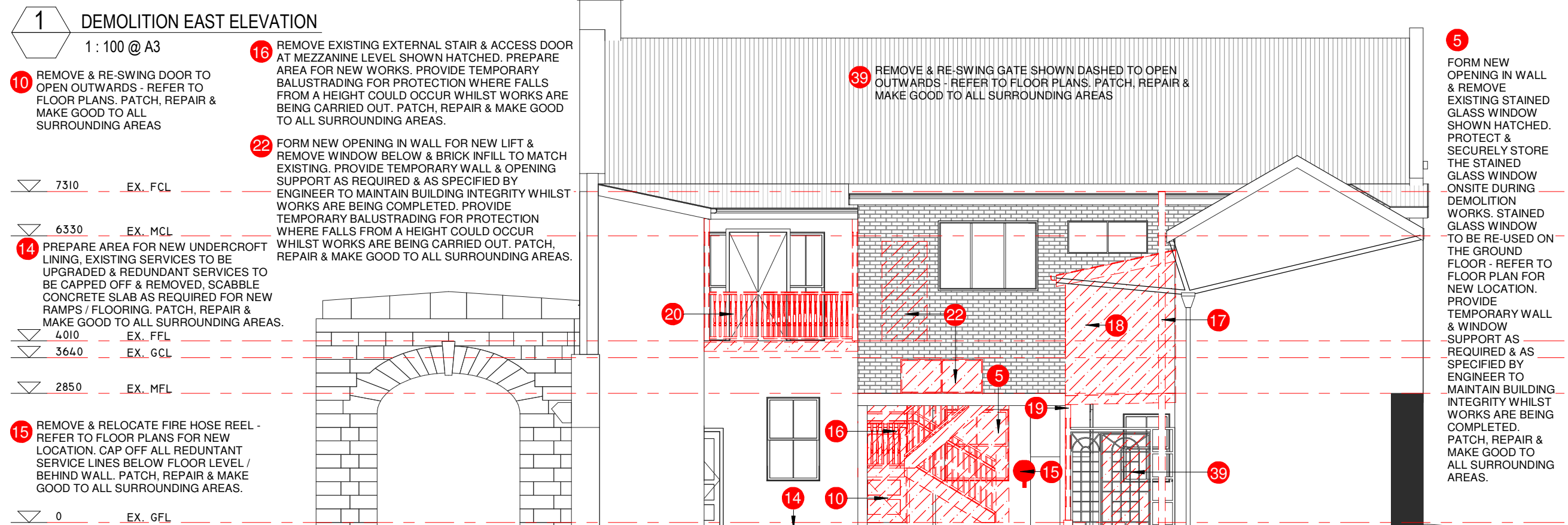
- 10 REMOVE & RE-SWING DOOR TO OPEN OUTWARDS - REFER TO FLOOR PLANS. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS
- 14 PREPARE AREA FOR NEW UNDERCROFT LINING, EXISTING SERVICES TO BE UPGRADED & REDUNDANT SERVICES TO BE CAPPED OFF & REMOVED, SCABBLE CONCRETE SLAB AS REQUIRED FOR NEW RAMPS / FLOORING. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.
- 15 REMOVE & RELOCATE FIRE HOSE REEL - REFER TO FLOOR PLANS FOR NEW LOCATION. CAP OFF ALL REDUNDANT SERVICE LINES BELOW FLOOR LEVEL / BEHIND WALL. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.
- 16 REMOVE EXISTING EXTERNAL STAIR & ACCESS DOOR AT MEZZANINE LEVEL SHOWN HATCHED. PREPARE AREA FOR NEW WORKS. PROVIDE TEMPORARY BALUSTRADING FOR PROTECTION WHERE FALLS FROM A HEIGHT COULD OCCUR WHILST WORKS ARE BEING CARRIED OUT. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.
- 22 FORM NEW OPENING IN WALL FOR NEW LIFT & REMOVE WINDOW BELOW & BRICK INFILL TO MATCH EXISTING. PROVIDE TEMPORARY WALL & OPENING SUPPORT AS REQUIRED & AS SPECIFIED BY ENGINEER TO MAINTAIN BUILDING INTEGRITY WHILST WORKS ARE BEING COMPLETED. PROVIDE TEMPORARY BALUSTRADING FOR PROTECTION WHERE FALLS FROM A HEIGHT COULD OCCUR WHILST WORKS ARE BEING CARRIED OUT. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.



**2 DEMOLITION NORTH ELEVATION**

1 : 100 @ A3

- 19 UPGRADING OF SIDE VERANDAH - REFER TO ENGINEER'S DETAILS FOR WHICH VERANDAH COLUMNS / BEAMS WILL BE RETAINED & WHICH WILL BE REMOVED & NEW COLUMNS / BEAMS INSTALLED. PROVIDE TEMPORARY BALUSTRADING FOR PROTECTION WHERE FALLS FROM A HEIGHT COULD OCCUR WHILST WORKS ARE BEING CARRIED OUT. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.
- 20 TEMPORARY BALUSTRADING FOR PROTECTION WHERE FALLS FROM A HEIGHT COULD OCCUR WHILST WORKS ARE BEING CARRIED OUT. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.
- 39 REMOVE & RE-SWING GATE SHOWN DASHED TO OPEN OUTWARDS - REFER TO FLOOR PLANS. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS
- 5 FORM NEW OPENING IN WALL & REMOVE EXISTING STAINED GLASS WINDOW SHOWN HATCHED. PROTECT & SECURELY STORE THE STAINED GLASS WINDOW ONSITE DURING DEMOLITION WORKS. STAINED GLASS WINDOW TO BE RE-USED ON THE GROUND FLOOR - REFER TO FLOOR PLAN FOR NEW LOCATION. PROVIDE TEMPORARY WALL & WINDOW SUPPORT AS REQUIRED & AS SPECIFIED BY ENGINEER TO MAINTAIN BUILDING INTEGRITY WHILST WORKS ARE BEING COMPLETED. PATCH, REPAIR & MAKE GOOD TO ALL SURROUNDING AREAS.



ISSUED FOR  
**CONCEPT C**  
 NOT FOR CONSTRUCTION

| REVISION | DESCRIPTION                              | DATE     |
|----------|--|----------|
| A        | CONCEPT C - PROPOSED ENTRY RAMPS SECTION | 08.07.19 |
| B        | CONCEPT C - MEETING WITH CLIENT          | 16.10.19 |
| C        | CONCEPT C - TO TL/IGMS FOR REVIEW        | 30.10.19 |
| D        | CONCEPT D - ISSUE FOR CLIENT MEETING     | 11.11.19 |

PROJECT TITLE  
**ALTERATION & ADDITIONS - NEW LIFT, FIRE & ACCESS UPGRADING**

CLIENT  
**GOULBURN CLUB**

DRAWING TITLE  
**DEMOLITION ELEVATIONS 2**

LOT AND DEPOSITED PLAN NO.  
**LOT 1 - DP 61322**

STREET ADDRESS  
**19 MARKET STREET, GOULBURN, NSW 2580**

DRAWING VERIFIED BY  
**TL**

DRAWN BY  
**AW**

JOB NUMBER  
**0718-1021**

DRAWING NO.  
**C-14**

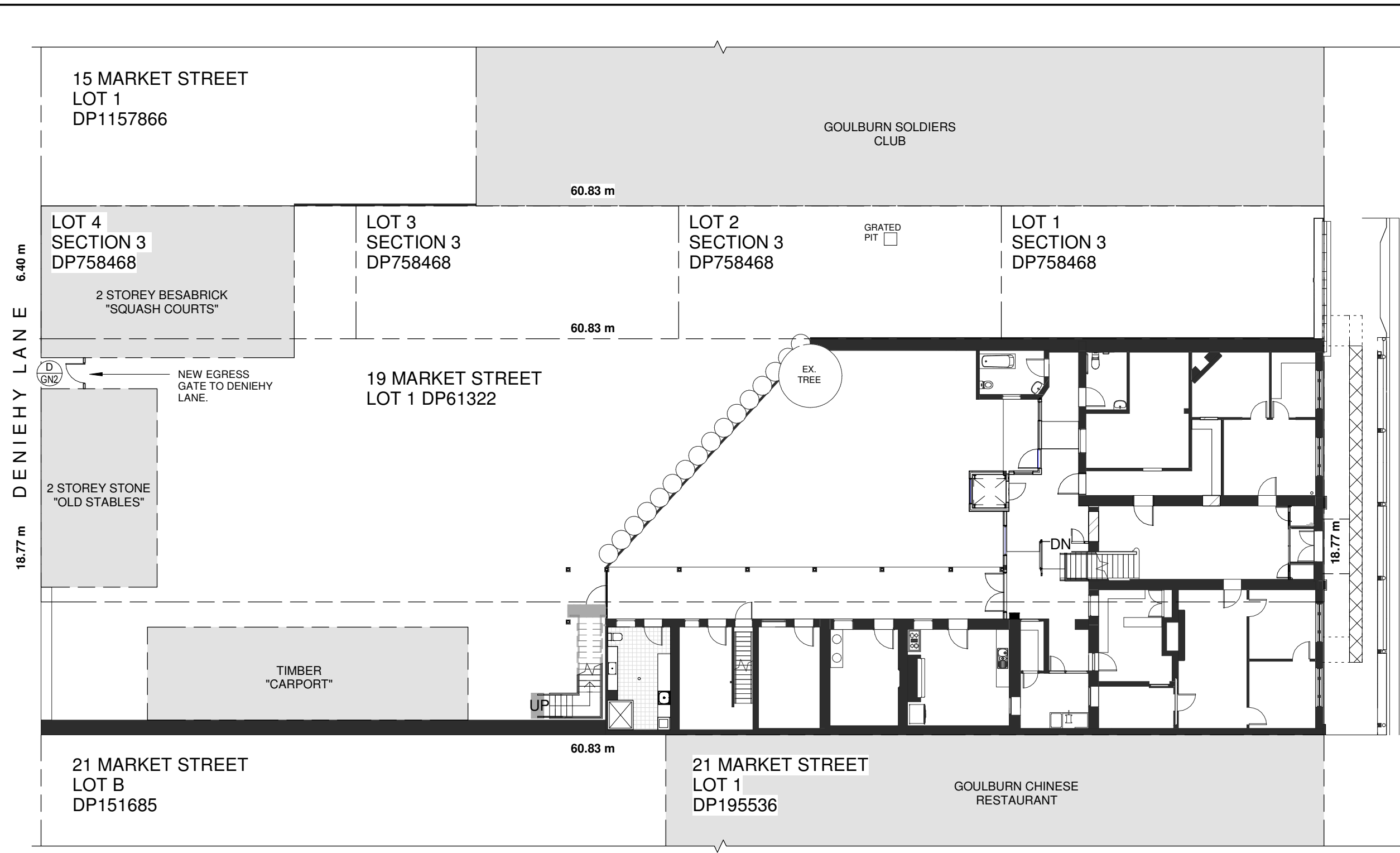
ISSUE  
**D**

DRAWING COMMENCED  
**SEPT 18**

DRAWING SCALE  
**1 : 100**

AT SHEET SIZE  
**A3 SHEET**

**TIM LEE ARCHITECTS**  
 residential commercial industrial  
**NOMINATED ARCHITECT:**  
 TIM LEE  
 NSW REG: 7304  
 ACT REG: 1030  
 P: 02 4822 5934  
 ABN: 71425067537  
 ROSS PLACE  
 GOULBURN NSW  
 2580



NOTE : ALL LEVELS SHOWN ARE BASED ON SUPPLIED 3RD PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ONSITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORK. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS.

**ALL FLOOR LEVELS & GROUND LEVELS ARE ASSUMED & ARE TO BE CONFIRMED ONSITE, PRIOR TO COMMENCING ANY WORKS. ALL DIMENSIONS TO BE CONFIRMED ONSITE. SURVEYOR TO ESTABLISH BOUNDARY AND SET OUT BUILDINGS. ALL DIMENSIONS SUBJECT TO SITE SURVEY.**

THE CONTRACTOR IS TO ENSURE COMPLETE COMPLIANCE WITH ALL RELEVANT NCC CODES, AUSTRALIAN STANDARDS, LOCAL REGULATIONS & BY-LAWS AS REQUIRED.

ALL MATERIALS & WORKMANSHIP ARE TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

SUPPLY & INSTALL ALL NECESSARY FITTINGS & FIXTURES IN STRICT ACCORDANCE WITH THE MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR & SUB-CONTRACTORS TO MAKE THEMSELVES FULLY AWARE OF CONDITIONS WHICH WILL AFFECT THE EXECUTION OF THE WORKS.

SITE AREA 1522.98 m<sup>2</sup>

- REFER TO :
- SITE PLANS :
- DEMOLITION PLANS :
- FLOOR PLANS :
- ELEVATIONS :
- SECTIONS :
- 3D VIEWS :
- INTERNAL ELEVATIONS :
- DOOR & WINDOWS :
- CUT & FILL PLAN :
- SETOUT PLAN :
- EROSION & SEDIMENT CONTROL :
- LANDSCAPE PLAN :
- NOTIFICATION PLAN :

ISSUED FOR  
**PRELIMINARY**  
**NOT FOR CONSTRUCTION**  
REFER TO GENERAL NOTES SHEET

**1** PROPOSED SITE PLAN  
1 : 200 @ A3

|                           |  |          |  |   |  |                               |                           |
|---------------------------|--|----------|--|---|--|-------------------------------|---------------------------|
| <b>DRAWING AMENDMENTS</b> |  |          | PROJECT TITLE<br>ALTERATION & ADDITIONS - NEW LIFT, FIRE & ACCESS UPGRADING  | <b>TIM LEE ARCHITECTS</b><br>residential commercial industrial<br>P: 02 4822 5934<br>ABN: 71425067537<br>ROSS PLACE<br>GOULBURN NSW<br>2580<br>NOMINATED ARCHITECT:<br><b>TIM LEE</b><br>NSW REG: 7304<br>ACT REG: 1030 | DRAWING TITLE<br>PROPOSED SITE PLAN            | DRAWING COMMENCED<br>SEPT 18  | DRAWING VERIFIED BY<br>TL |
| REVISION                  | DESCRIPTION                              | DATE     | CLIENT<br>GOULBURN CLUB  |   | LOT AND DEPOSITED PLAN NO.<br>LOT 1 - DP 61322 | DRAWING SCALE<br>As indicated | DRAWN BY<br>AW            |
| A                         | CONCEPT C - PROPOSED ENTRY RAMPS SECTION | 08.07.19 | Figured dimensions take precedence. Do not scale drawings.<br>Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work.<br>All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.<br>COPYRIGHT TIM LEE ARCHITECTS<br>Drawings subject to copyright and may not be reproduced in any form without the written permission of the builder. | STREET ADDRESS<br>19 MARKET STREET, GOULBURN, NSW 2580  | AT SHEET SIZE<br>A3 SHEET                      | JOB NUMBER<br>0718-1021       |                           |
| B                         | CONCEPT C - MEETING WITH CLIENT          | 16.10.19 |  |   | DRAWING IDENTIFICATION NUMBER<br>C-15 OF       | AMENDMENT ISSUE<br>D          |                           |
| C                         | CONCEPT C - TO TL/IGNIS FOR REVIEW       | 30.10.19 |  |   |  |                               |                           |
| D                         | CONCEPT D - ISSUE FOR CLIENT MEETING     | 11.11.19 |  |   |  |                               |                           |

**COMPLIANCE NOTES**

ALL BUILDING WORKS, SIGNAGE, FITTINGS & FIXTURES TO BE INSTALLED IN STRICT ACCORDANCE TO MEET AS1428.1 & BE INSTALLED TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

BUILDER TO SHOW FULL COMPLIANCE WITH ALL CURRENT REQUIRED CODES, AS STANDARDS & PARTS OF THE BCA (NCC), INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

- FIRE RESISTANCE
- ACCESS AND EGRESS
- SERVICES AND EQUIPMENT
- HEALTH AND AMENITY
- SPECIAL USE BUILDINGS
- ENERGY EFFICIENCY
- ALL SURFACES
- ALL DOORS
- EMERGENCY LIGHTS & EXIT SIGNS
- EMERGENCY LIGHTING SYSTEM
- EXIT SIGNS
- FACILITIES FOR PEOPLE WITH DISABILITIES
- DOORS TO SANITARY COMPARTMENTS
- LIGHT & VENTILATION
- GLAZING MATERIALS
- MECHANICAL VENTILATION
- WET AREAS
- TERMITES
- ELECTRICAL

- SECTION C OF THE NCC
- SECTION D OF THE NCC
- SECTION E OF THE NCC
- SECTION F OF THE NCC
- SECTION H OF THE NCC
- SECTION J OF THE NCC
- C1.10 & SPECIFICATION G1.10 NCC
- D2.19, D2.20 & D2.20 FO THE NCC
- PART E4 OF THE NCC
- E4.2 OF THE NCC
- E4.5, E4.6 & E4.8 OF THE NCC
- F2.4 OF THE NCC
- F2.5 OF THE NCC
- F4 OF THE NCC
- AS 1288 & F1.13 OF THE NCC
- AS 1668
- AS 3740
- AS 3600.1
- AS 3000

**SCHEDULE OF FIRE SAFETY MEASURES**

- EMERGENCY LIGHTING** AS 2293.1, E4.2 & E4.4 OF BCA (NCC)
- FIRE HYDRANT** AS 2419.1 & E1.3 OF BCA (NCC)
- FIRE HOSE REELS** AS 2441 & E1.4 OF BCA (NCC)
- EXIT SIGNS** AS 2293.1, E4.5, E4.6 & E4.8 OF BCA (NCC)
- PORTABLE FIRE EXTINGUISHERS** AS 2444 & E1.6 OF BCA (NCC)
- FIRE BLANKETS** AS 2444 & E1.6 OF BCA (NCC)
- EXIT DOORS** D2.19, D2.20 & D2.21 OF BCA (NCC)

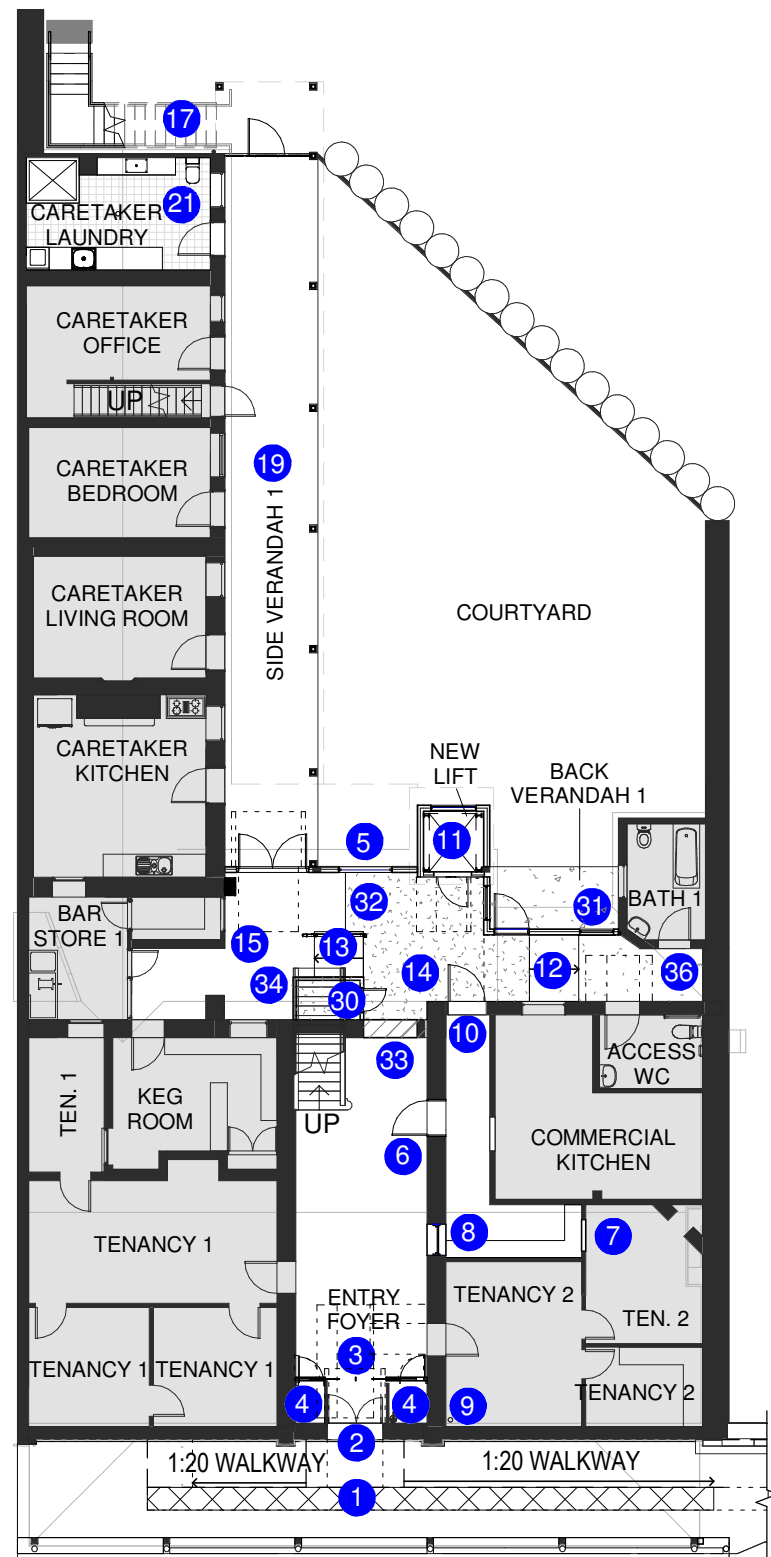
NOTE : EMERGENCY EXITS MUST REMAIN CLEAR AT ALL TIMES.  
NOTE : EXISTING COUNCIL HYDRANTS PROVIDE ADEQUATE COVERAGE.

**VENTILATION**

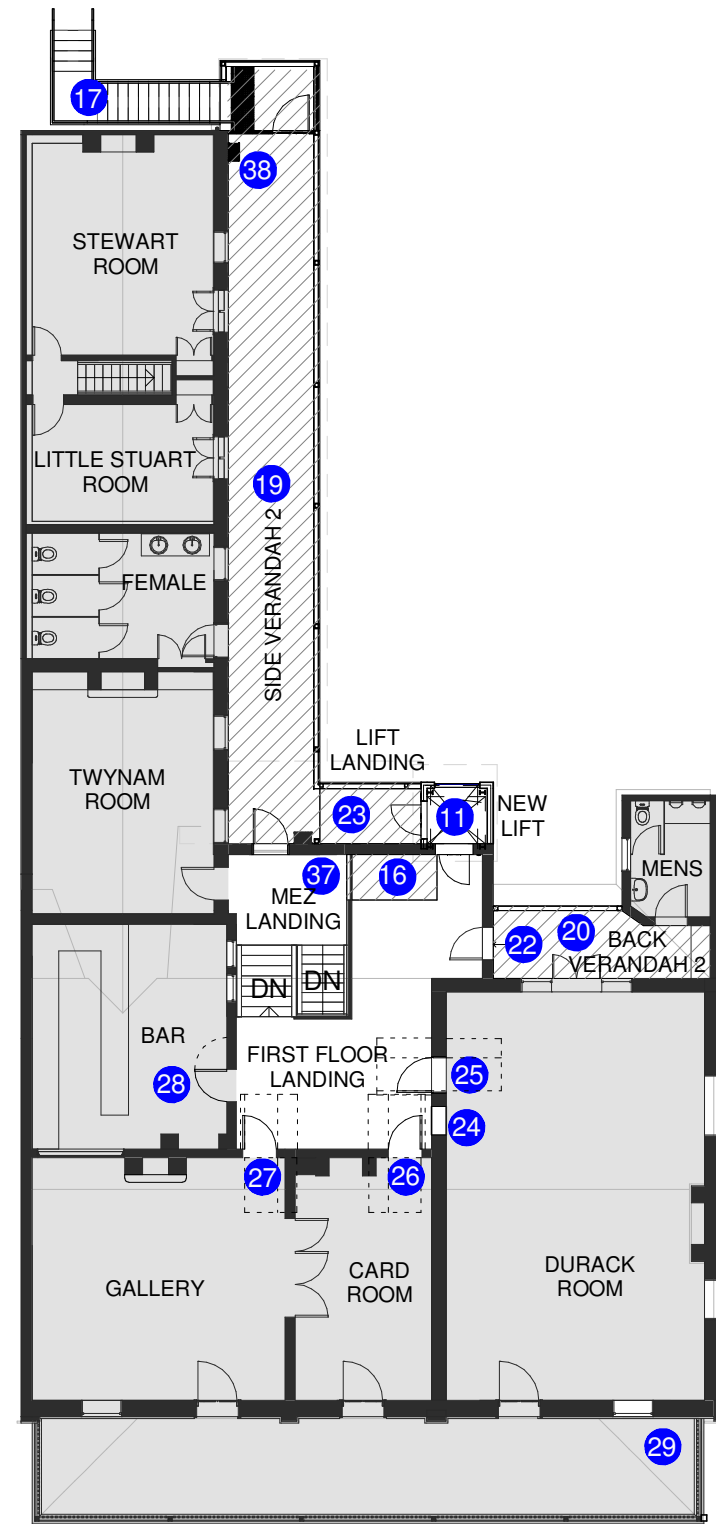
VENTILATION SYSTEM TO BE INSTALLED TO MEET AS/NZS 3666.1 'AIR HANDLING & WATER SYSTEMS OF BUILDING-MICROBIAL CONTROL'. & AS1668.2 'MECHANICAL VENTILATION FOR ACCEPTABLE INDOOR AIR QUALITY & F4 OF THE BCA (NCC0 & AT AN AIR CHANGE RATE OF 22 CYCLES PER MINUTE.

**GENERAL NOTES:**

- ALL MATERIALS AND WORKMANSHIP ARE TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS TO MAKE THEMSELVES FULLY AWARE OF CONDITIONS WHICH WILL AFFECT THE EXECUTION OF THE WORKS.
- SUPPLY AND INSTALL ALL NECESSARY FITTINGS AND FIXTURES IN STRICT ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- THE CONTRACTOR IS TO ENSURE COMPLETE COMPLIANCE WITH ALL RELEVANT NCC CODES (BCA), AUSTRALIAN STANDARDS AND LOCAL REGULATIONS AND BY-LAWS AS REQUIRED.
- ALL LEVELS TO BE CONFIRMED ONSITE. THE SURVEYOR TO ESTABLISH BOUNDARY AND SET OUT BUILDING. ALL DIMENSIONS SUBJECT TO SITE SURVEY.
- PROVIDE LIFT OFF HINGS TO ALL WC COMPARTMENT DOORS WHERE OPENING INWARDS TO SATISFY THE REQUIREMENTS OF BCA (NCC) 3.8.3.3 OR PROVIDE ALTERNATIVE CONFIGURATION TO SATISFY THE LOCAL AUTHORITIES.
- ALL REQUIRED ACCESS FITTINGS & FIXTURES ARE REQUIRED TO MEET AS1428.1. ALL DOOR CIRCULATION SPACES ARE REQUIRED TO MEET AS1428.1.
- SELECTED COLORBOND DOWNPIPES. CONNECT TO EXISTING STORMWATER SYSTEM.
- ROOF DRAINAGE SYSTEM INSTALLED IN ACCORDANCE WITH ROOF DRAINAGE SYSTEMS - DESIGN AS/NZS 3500.3.
- RAMPS, KERBS & LANDINGS ARE REQUIRED TO MEET AS1428.1.
- PROVIDE CHEMICAL TERMITE CONTROL TO ALL AREAS AS REQUIRED BY PART B OF THE BCA, AS 3660.1 & AS 3660.2.
- PROVIDE DRAINAGE SYSTEM FROM ALL FITTINGS. PROVIDE GULLY TRAP A MINIMUM OF 150mm BELOW FFL. CONNECT TO COUNCIL SEWERAGE LINE ON SITE.
- INSTALL HARDWIRED ALARMS TO AS 3786 ADJACENT TO SLEEPING AREAS TO MEET BCA (NCC) REQUIREMENTS.
- ALL SHEET LININGS TO BE BACK BLOCKED, TAPE COATED, SECOND COATED, FINISH COATED, SKIM COATED & SANDED AS NECESSARY TO GIVE A LEVEL 4 FINISH.
- TIMBE FRAME BRACING, TIE-DOWNS & JOINT SCHEDULE TO BE DESIGNED & CERTIFIED BY THE FRAME FABRICATOR IN ACCORDANCE WITH AS 1684 (NATIONAL TIMBER FRAMING CODE).
- TO AREAS LABELLED 'BR.CONC', PROVIDE A UNI-DIRECTIONAL NON-SLIP BROOM FINISH TO THE CONCRETE SURFACE.



**1** PROPOSED GROUND FLOOR PLAN KEY  
1 : 200 @ A3



**2** PROPOSED MEZZANINE / FIRST FLOOR PLAN KEY  
1 : 200 @ A3

**LEGEND**

- EXISTING
- 1 DEMOLISHED
- 1 PROPOSED

- LEGEND**
- 1** MARKET STREET ENTRY - ELIMINATING ENTRY STEP TO MEET AS1428.1.
  - 2 TO 5** ENTRANCE TO BUILDING - FRONT ENTRY DOORS & FOYER.
  - 6 TO 10** GROUND FLOOR KITCHEN & COMMERCIAL TENANCY.
  - 11 TO 16** LIFT, LIFT LOBBY & REMOVAL OF EXISTING EXTERNAL STAIR.
  - 17 TO 20** NEW EXTERNAL STEEL FIRE EGRESS REQUIRED STAIR.
  - 21** UPGRADING OF EXISTING GROUND FLOOR LAUNDRY.
  - 22 TO 38** FIRST FLOOR LEVEL ALTERATIONS & UPGRADING.
- BATHROOM LAYOUT, FITTINGS & FIXTURES ARE INDICATIVE ONLY. FINAL SELECTION, LAYOUT & PLACEMENT OF FITTINGS & FIXTURES TO BE BY BUILDER, APPROVED BY CLIENT PRIOR TO CONSTRUCTION.**

| PROPOSED AREAS          |                       |
|-------------------------|-----------------------|
| PR. GF BACK VERANDAH 1  | 5.61 m <sup>2</sup>   |
| PR. FF BACK VERANDAH 2  | 9.92 m <sup>2</sup>   |
| PR. GF SIDE VERANDAH 1  | 46.40 m <sup>2</sup>  |
| PR. FF FRONT VERANDAH   | 50.16 m <sup>2</sup>  |
| PR. MEZ SIDE VERANDAH 2 | 53.85 m <sup>2</sup>  |
| PR. FOOTPATH            | 56.51 m <sup>2</sup>  |
| PR. MEZZANINE           | 128.15 m <sup>2</sup> |
| PR. FIRST FLOOR         | 248.65 m <sup>2</sup> |
| PR. GROUND FLOOR        | 390.41 m <sup>2</sup> |

|           |                        |
|-----------|------------------------|
| SITE AREA | 1522.98 m <sup>2</sup> |
|-----------|------------------------|

- REFER TO :
- SITE PLANS :
  - DEMOLITION PLANS :
  - FLOOR PLANS :
  - ELEVATIONS :
  - SECTIONS :
  - 3D VIEWS :
  - INTERNAL ELEVATIONS :
  - DOOR & WINDOWS :
  - CUT & FILL PLAN :
  - SETOUT PLAN :
  - EROSION & SEDIMENT CONTROL :
  - LANDSCAPE PLAN :
  - NOTIFICATION PLAN :

ISSUED FOR  
**PRELIMINARY**  
**NOT FOR CONSTRUCTION**  
REFER TO GENERAL NOTES SHEET

| DRAWING AMENDMENTS |  |          |
|--------------------|--|----------|
| REVISION           | DESCRIPTION                              | DATE     |
| A                  | CONCEPT C - PROPOSED ENTRY RAMPS SECTION | 08.07.19 |
| B                  | CONCEPT C - MEETING WITH CLIENT          | 16.10.19 |
| C                  | CONCEPT C - TO TL/IGNIS FOR REVIEW       | 30.10.19 |
| D                  | CONCEPT D - ISSUE FOR CLIENT MEETING     | 11.11.19 |

|  |
|--|
| PROJECT TITLE<br><b>ALTERATION &amp; ADDITIONS - NEW LIFT, FIRE &amp; ACCESS UPGRADING</b>   |
| CLIENT<br><b>GOULBURN CLUB</b>   |
| Figured dimensions take precedence. Do not scale drawings.<br>Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work.<br>All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.<br>COPYRIGHT TIM LEE ARCHITECTS<br>Drawings subject to copyright and may not be reproduced in any form without the written permission of the builder. |

**TIM LEE ARCHITECTS**  
residential commercial industrial

P: 02 4822 5934  
ABN: 71425067537  
ROSS PLACE  
GOULBURN NSW  
2580

NOMINATED ARCHITECT:  
**TIM LEE**  
NSW REG: 7304  
ACT REG: 1030

|   |
|---|
| DRAWING TITLE<br><b>GENERAL NOTES &amp; COMPLIANCE NOTES</b>  |
| LOT AND DEPOSITED PLAN NO.<br><b>LOT 1 - DP 61322</b>         |
| STREET ADDRESS<br><b>19 MARKET STREET, GOULBURN, NSW 2580</b> |

|   |                                  |
|---|----------------------------------|
| DRAWING COMMENCED<br><b>SEPT 18</b>             | DRAWING VERIFIED BY<br><b>TL</b> |
| DRAWING SCALE<br><b>As indicated</b>            | DRAWN BY<br><b>AW</b>            |
| AT SHEET SIZE<br><b>A3 SHEET</b>                | JOB NUMBER<br><b>0718-1021</b>   |
| DRAWING IDENTIFICATION NUMBER<br><b>C-16 OF</b> | AMENDMENT ISSUE<br><b>D</b>      |



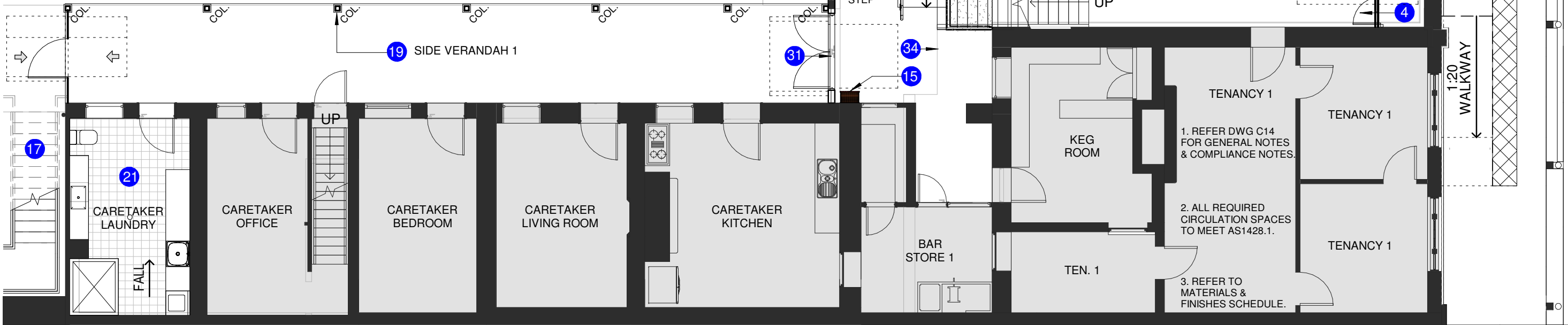
- 1 NEW ENTRY FOOTPATH (WALKWAYS), LANDINGS, STEPS & 600mm CONTRASTING SELECTED PAVING STRIP TO MEET AS1428.1 - REFER TO DETAILED FLOOR PLAN & SECTIONS. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- 2 EXISTING ENTRY DOOR TO REMAIN & TO BE LOCKED INTO POSITION WHEN CLUB IS IN USE AS PER EXISTING AGREEMENT WITH GMC (COUNCIL).
- 3 NEW AUTOMATIC GLAZED SLIDING DOUBLE DOORS, TRACKS, FITTINGS & FIXTURES. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- 4 TIMBER SCREENS TO BE RELOCATED TO EITHER SIDE OF THE ENTRY DOOR & NEW SPRING RETURN DOOR ACTUATORS & HINGES TO BE INSTALLED TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- 5 RELOCATED STAINED GLASS WINDOW, REFURBISHED & INSTALLED WITH ALL FITTINGS & FIXTURES TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- 6 NEW DOOR, ARCHITRAVES, FITTINGS & FIXTURES TO MATCH EXISTING. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- 7 EXISTING DOOR TO BE PERMANENTLY LOCKED. PREPARE AREA FOR NEW PANTY SHELVING.
- 8 EXISTING DOOR TO BE PERMANENTLY LOCKED. PREPARE AREA FOR NEW PANTY SHELVING.
- 9 RELOCATE EXISTING FIRE EXTINGUISHER TO AN APPROVED LOCATION TO MEET AS2444 & FIRE SAFETY CERTIFICATE. NOTE : THE CURRENT LOCATION IS SHOWN, BUT IF REQUIRED TO BE MOVED TO MEET REQUIREMENTS, THEN RELOCATE TO THE REQUIRED POSITION, INCLUDING ALL SIGNAGE.

- 10 RE-SWING DOOR WITH ALL FITTINGS & FIXTURES AS SHOWN ON PLANS. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- 11 NEW SELECTED LIFT (3 LEVEL STOPPING EQUAL TO BARDUVA VERTICAL LIFTING PLATFORM SB200), 1540x1540 LIFT SHAFT, 1500x1460 PLATFORM, FITTINGS, FIXTURES, SIGNAGE, FOOTINGS & ROOFING TO ENGINEER'S DETAILS. THE LIFT MUST ACCESS ALL THREE LEVELS OF THE BUILDING & MEET AS1428.1 & NCC (BCA) REQUIREMENTS. ALUMINIUM FRAMED FIRE RATED GLASS WINDOWS. REFER TO DETAILED FLOOR PLANS & SECTION. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- 12 NEW STEP RAMP & HANDRAILS / KERB RAILS TO COMPLY WITH AS1428.1 - 10.6. MAX. RISE 190mm, MAX. LENGTH 1900mm WITH A MAX. GRADIENT OF 1:10. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- 13 GRADIENT OF 1:10. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- 14 NEW FC (BATTENED) CEILING & CORNICES (TO MATCH EXISTING) INSTALLED TO ENTIRE LIFT LOBBY. EXISTING & NEW SERVICE LINES TO BE BEHIND NEW CEILING. SELECTED COLOUR LEVEL 4 PAINT FINISH. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- 15 RELOCATED FIRE HOSE REEL. CONNECT TO ALL REQUIRED SERVICES & RE-COMMISSION. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- 17 NEW REQUIRED STEEL FIRE STAIR & GATE TO COMPLY WITH NCC (BCA), AUSTRALIAN STANDARDS & LOCAL REGULATION. REFER TO DETAILS - FIRE STAIR DETAIL SHEET. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

- 19 NEW SELECTED FIRE-RATED VERANDAH COLUMNS / BEAMS & DECKING TO ENGINEER'S DETAILS. SELECTED COLOUR LEVEL 4 PAINT FINISH. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- 21 NEW SELECTED BATHROOM / LAUNDRY FIT OUT, WALL & CEILING LINING WITH SELECTED COLOUR LEVEL 4 PAINT FINISH, SELECTED CERAMIC NON-SLIP FLOOR TILE, FULLY VITRIFIED MIN. R11 / P4 RATING, CORNICES & ARCHITRAVES TO MATCH EXISTING. NEW SERVICE LINES TO BE BELOW FLOOR LEVEL OR BEHIND WALLS. CONNECT ALL NEW FITTINGS & FIXTURES TO REQUIRED SERVICES / LINE & COMMISSION. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- 30 RELOCATED TELEPHONE BOOTH, NEW TELEPHONE, SERVICE LINES & NEW WALLS. SELECTED COLOUR LEVEL 4 PAINT FINISH. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- 31 NEW EXTERNAL CLAD WALL TO ENCLOSE LIFT LOBBY, INCLUDING EXTERNAL GRADE ALUMINIUM FRAMED NEW DOUBLE GLAZED DOOR WITH PUSH BAR, SINGLE EXIT DOOR & WINDOW. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- 32 TO AREA SHOWN HATCHED, NEW SUB-FLOOR & FLOORING TO MATCH EXISTING FLOOR LEVEL OF ENTRY FOYER. NEW SELECTED PORCELAIN TIMBER LOOK 200x1200 NON-SLIP FLOOR TILES, FULLY VITRIFIED MIN. R11 / P4 RATING. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

33 NEW SELECTED CONTRASTING PORCELAIN NON-SLIP FLOOR TILE, FULLY VITRIFIED MIN. R11 / P4 RATING. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

34 POLISHED FINISH, NON-SLIP HONED CONCRETE, MIN. R11 / P4 RATING WITH 3mm BRASS STRIP BETWEEN FLOORING MATERIALS. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.



**ALL FLOOR LEVELS & GROUND LEVELS ARE ASSUMED & ARE TO BE CONFIRMED ONSITE, PRIOR TO COMMENCING ANY WORKS. ALL DIMENSIONS TO BE CONFIRMED ONSITE. SURVEYOR TO ESTABLISH BOUNDARY AND SET OUT BUILDINGS. ALL DIMENSIONS SUBJECT TO SITE SURVEY.**

NOTE : ALL LEVELS SHOWN ARE BASED ON SUPPLIED 3RD PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ONSITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORK. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS.

- 35 ALL EXISTING FLOOR VENTS TO REMAIN EXPOSED, EXTENDED & HAVE A GRATE OVER FULL DEPTH OF VENT. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- 36 TO AREA SHOWN HATCHED, NEW SUB-FLOOR & FLOORING TO MATCH EXISTING FLOOR LEVEL OF ACCESS TOILET. NEW SELECTED PORCELAIN TIMBER LOOK 200x1200 NON-SLIP FLOOR TILES, FULLY VITRIFIED MIN. R11 / P4 RATING TO RAMP & FLOOR. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

29 RETRACTABLE FIRE ESCAPE LADDER EQUAL TO JOMY EMERGENCY EGRESS LADDER. NEW BOLLARD TO MATCH EXISTING. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

REFER TO :  
 SITE PLANS :  
 DEMOLITION PLANS :  
 FLOOR PLANS :  
 ELEVATIONS :  
 SECTIONS :  
 3D VIEWS :  
 INTERNAL ELEVATIONS :  
 DOOR & WINDOWS :  
 CUT & FILL PLAN :  
 SETOUT PLAN :  
 EROSION & SEDIMENT CONTROL :  
 LANDSCAPE PLAN :  
 NOTIFICATION PLAN :

**BATHROOM LAYOUT, FITTINGS & FIXTURES ARE INDICATIVE ONLY. FINAL SELECTION, LAYOUT & PLACEMENT OF FITTINGS & FIXTURES TO BE BY BUILDER, APPROVED BY CLIENT PRIOR TO CONSTRUCTION.**

**1 PROPOSED GROUND FLOOR PLAN**  
 1 : 100 @ A3

ISSUED FOR  
**CONCEPT C**  
**NOT FOR CONSTRUCTION**

| DRAWING AMENDMENTS |  |          |
|--------------------|--|----------|
| REVISION           | DESCRIPTION                              | DATE     |
| A                  | CONCEPT C - PROPOSED ENTRY RAMPS SECTION | 08.07.19 |
| B                  | CONCEPT C - MEETING WITH CLIENT          | 16.10.19 |
| C                  | CONCEPT C - TO TL/IGNIS FOR REVIEW       | 30.10.19 |
| D                  | CONCEPT D - ISSUE FOR CLIENT MEETING     | 11.11.19 |

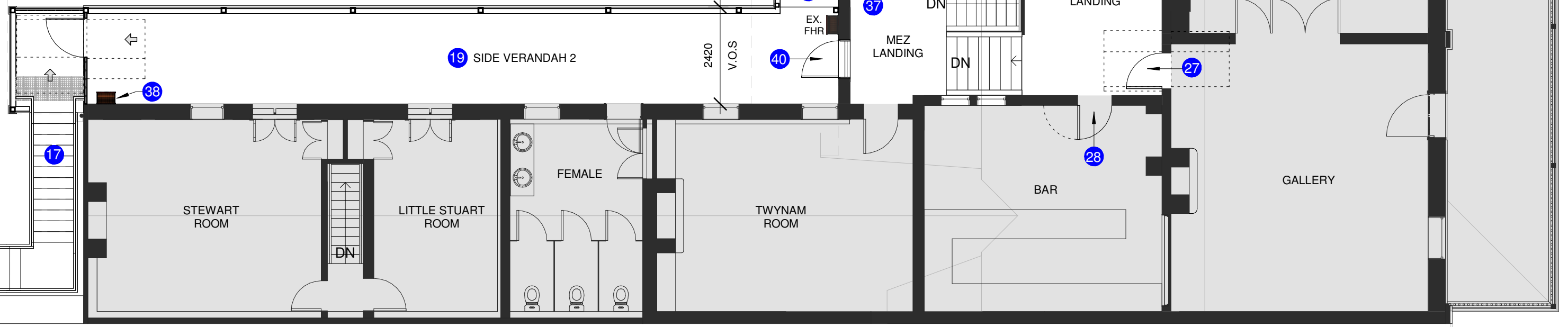
|  |  |
|--|--|
| PROJECT TITLE  | ALTERATION & ADDITIONS - NEW LIFT, FIRE & ACCESS UPGRADING |
| CLIENT   | GOULBURN CLUB  |
| Figured dimensions take precedence. Do not scale drawings.<br>Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work.<br>All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.<br>COPYRIGHT TIM LEE ARCHITECTS<br>Drawings subject to copyright and may not be reproduced in any form without the written permission of the builder. |  |

**TIM LEE ARCHITECTS**  
 residential commercial industrial  
 P: 02 4822 5934  
 ABN: 71425067537  
 ROSS PLACE  
 GOULBURN NSW  
 2580  
 NOMINATED ARCHITECT:  
**TIM LEE**  
 NSW REG: 7304  
 ACT REG: 1030

|                            |                                      |
|----------------------------|--------------------------------------|
| DRAWING TITLE              | PROPOSED GROUND FLOOR PLAN           |
| LOT AND DEPOSITED PLAN NO. | LOT 1 - DP 61322                     |
| STREET ADDRESS             | 19 MARKET STREET, GOULBURN, NSW 2580 |

|                               |          |                     |           |
|-------------------------------|----------|---------------------|-----------|
| DRAWING COMMENCED             | SEPT 18  | DRAWING VERIFIED BY | T.L.      |
| DRAWING SCALE                 | 1 : 100  | DRAWN BY            | AH        |
| AT SHEET SIZE                 | A3 SHEET | JOB NUMBER          | 0718-1021 |
| DRAWING IDENTIFICATION NUMBER | C-17     | AMENDMENT ISSUE     | D         |

- 11 NEW SELECTED LIFT (3 LEVEL STOPPING EQUAL TO BARDUVA VERTICAL LIFTING PLATFORM SB200), 1540x1540 LIFT SHAFT, 1500x1460 PLATFORM, FITTINGS, FIXTURES, SIGNAGE, FOOTINGS & ROOFING TO ENGINEER'S DETAILS. THE LIFT MUST ACCESS ALL THREE LEVELS OF THE BUILDING & MEET AS1428.1 & NCC (BCA) REQUIREMENTS. ALUMINIUM FRAMED FIRE RATED GLASS WINDOWS. REFER TO DETAILED FLOOR PLANS & SECTION. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- 16 NEW STEEL / TIMBER FLOOR & FLOOR STRUCTURE TO ENGINEER'S DETAILS. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- 17 NEW REQUIRED STEEL FIRE STAIR & GATE TO COMPLY WITH NCC (BCA), AUSTRALIAN STANDARDS & LOCAL REGULATION. REFER TO DETAILS. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- 19 NEW SELECTED FIRE-RATED VERANDAH COLUMNS / BEAMS, DECKING, ROOFING & BALUSTRADE (TO MATCH EXISTING & TO MEET BCA (NCC) REQUIREMENTS) TO ENGINEER'S DETAILS. NEW VERANDAH FFL TO BE FLUSH WITH EXISTING FFL OF BUILDING (BACK VERANDAH 2 - LEVEL WITH DURACK ROOM FFL) TO ELIMINATE STEP AT DOOR THRESHOLDS & TO PROVIDE ACCESSIBLE ACCESS TO ALL ROOMS TO MEET AS1428.1. SELECTED COLOUR LEVEL 4 PAINT FINISH. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- 20 NEW STEP RAMP TO COMPLY WITH AS1428.1 - 10.6. MAX. RISE 190mm, MAX. LENGTH 1900mm WITH A MAX. GRADIENT OF 1:10. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- 23 NEW STEEL / TIMBER LIFT LANDING, DECKING & BALUSTRADING TO MATCH EXISTING. CONNECT TO NEW / UPGRADED SIDE VERANDAH 2 INCLUDING FLUSH FFL. SELECTED COLOUR LEVEL 4 PAINT FINISH. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- 24 NEW BRICK INFILL, ARCHITRAVE & FINISHES TO MATCH EXISTING. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- 25 NEW 920DL SINGLE ENTRY DOOR WITH GLAZED PANEL, ARCHITRAVES & FINISHES TO MATCH EXISTING. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- 26 RE-SWING DOORS SHOWN TO OPEN OUTWARDS, INCLUDING ALL ARCHITRAVES, FITTINGS & FIXTURES. ACCESS CONSULTANT TO APPROVE DOOR CIRCULATION SPACE & DOOR LEAF SIZE VARIATION TO CODE DUE TO HERITAGE BUILDING. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- 27 RE-HANG EXISTING DOOR WITH NEW PARLIMENT HINGE & INSTALL A NEW FLOOR BOLT TO LOCK DOOR INTO POSITION FLUSH AGAINST WLL. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- 28 RETRACTABLE FIRE ESCAPE LADDER EQUAL TO JOMY EMERGENCY EGRESS LADDER REFER TO FIRE ACCESS REPORT. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- 29 NEW EXTERNAL CLAD WALL TO ENCLOSE LIFT, INCLUDING EXTERNAL GRADE ALUMINIUM FRAMED NEW WINDOWS. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- 37 NEW BALUSTRADE TO MATCH EXISTING & TO MEET THE BCA (NCC). INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- 38 NEW FIRE HOSE REEL TO BCA (NCC) REQUIREMENTS. CONNECT TO ALL REQUIRED SERVICES & COMMISSION. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.
- 40 NEW EXTERNAL 920DL SINGLE ENTRY DOOR, ARCHITRAVES & FINISHES TO MATCH EXISTING. INSTALL TO MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.



**ALL FLOOR LEVELS & GROUND LEVELS ARE ASSUMED & ARE TO BE CONFIRMED ONSITE, PRIOR TO COMMENCING ANY WORKS. ALL DIMENSIONS TO BE CONFIRMED ONSITE. SURVEYOR TO ESTABLISH BOUNDARY AND SET OUT BUILDINGS. ALL DIMENSIONS SUBJECT TO SITE SURVEY.**

NOTE : ALL LEVELS SHOWN ARE BASED ON SUPPLIED 3RD PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ONSITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORK. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS.

REFER TO :  
 SITE PLANS :  
 DEMOLITION PLANS :  
 FLOOR PLANS :  
 ELEVATIONS :  
 SECTIONS :  
 3D VIEWS :

INTERNAL ELEVATIONS :  
 DOOR & WINDOWS :  
 CUT & FILL PLAN :  
 SETOUT PLAN :  
 EROSION & SEDIMENT CONTROL :  
 LANDSCAPE PLAN :  
 NOTIFICATION PLAN :

1. REFER DWG C14 FOR GENERAL NOTES & COMPLIANCE NOTES.
2. ALL REQUIRED CIRCULATION SPACES TO MEET AS1428.1.
3. REFER TO MATERIALS & FINISHES SCHEDULE.

**1 PROPOSED MEZZANINE / FIRST FLOOR PLAN**  
 1 : 100 @ A3

ISSUED FOR  
**PRELIMINARY**  
**NOT FOR CONSTRUCTION**  
 REFER TO GENERAL NOTES SHEET

| DRAWING AMENDMENTS |  |          | PROJECT TITLE  | <b>TIM LEE ARCHITECTS</b><br><small>residential commercial industrial</small><br>P: 02 4822 5934<br>ABN: 71425067537<br>ROSS PLACE<br>GOULBURN NSW<br>2580<br>NOMINATED ARCHITECT:<br><b>TIM LEE</b><br>NSW REG: 7304<br>ACT REG: 1030 | DRAWING TITLE                 | DRAWING COMMENCED | DRAWING VERIFIED BY |
|--------------------|--|----------|--|--|-------------------------------|-------------------|---------------------|
| REVISION           | DESCRIPTION                              | DATE     | ALTERATION & ADDITIONS - NEW LIFT, FIRE & ACCESS UPGRADING   |  | PROPOSED FIRST FLOOR PLAN     | SEPT 18           | T.L.                |
| A                  | CONCEPT C - PROPOSED ENTRY RAMPS SECTION | 08.07.19 | CLIENT<br><b>GOULBURN CLUB</b><br>Figured dimensions take precedence. Do not scale drawings.<br>Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work.<br>All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.<br>COPYRIGHT TIM LEE ARCHITECTS<br>Drawings subject to copyright and may not be reproduced in any form without the written permission of the builder. | LOT AND DEPOSITED PLAN NO.   | DRAWING SCALE                 | DRAWN BY          |                     |
| B                  | CONCEPT C - MEETING WITH CLIENT          | 16.10.19 |  | LOT 1 - DP 61322   | 1 : 100                       | AH                |                     |
| C                  | CONCEPT C - TO TL/IGNIS FOR REVIEW       | 30.10.19 |  | STREET ADDRESS   | A3 SHEET                      | JOB NUMBER        |                     |
| D                  | CONCEPT D - ISSUE FOR CLIENT MEETING     | 11.11.19 |  | 19 MARKET STREET, GOULBURN, NSW 2580   | C-18 OF                       | 0718-1021         |                     |
|                    |  |          |  |  | DRAWING IDENTIFICATION NUMBER | AMENDMENT ISSUE   |                     |
|                    |  |          |  |  | C-18 OF                       | D                 |                     |

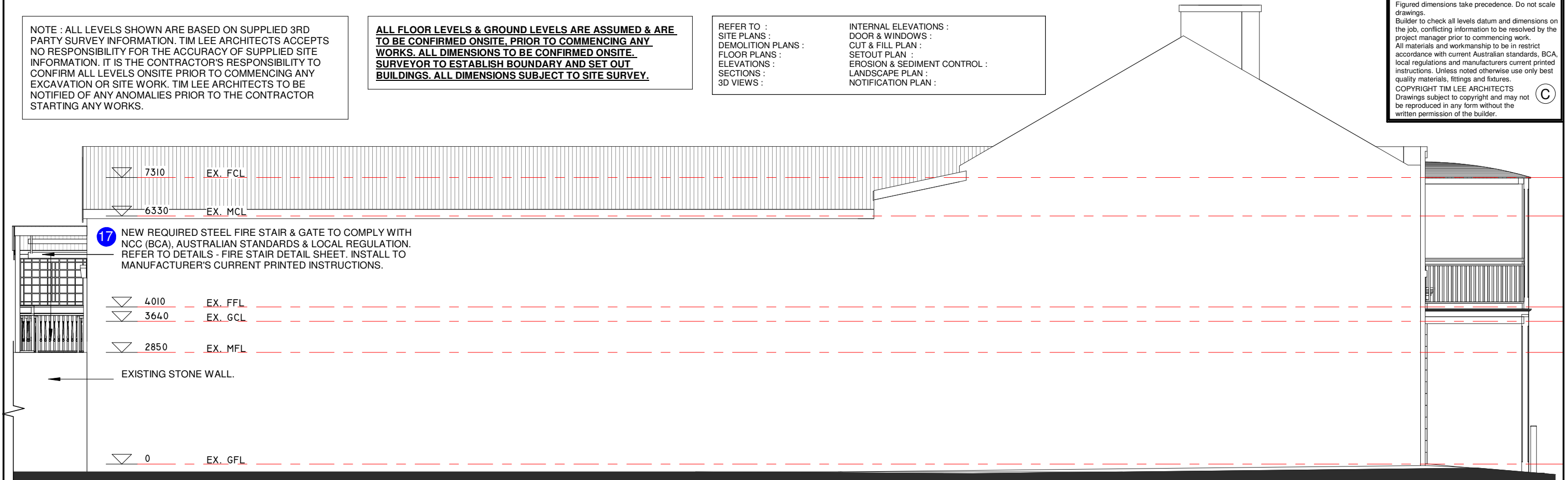
NOTE : ALL LEVELS SHOWN ARE BASED ON SUPPLIED 3RD PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ONSITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORK. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS.

**ALL FLOOR LEVELS & GROUND LEVELS ARE ASSUMED & ARE TO BE CONFIRMED ONSITE, PRIOR TO COMMENCING ANY WORKS. ALL DIMENSIONS TO BE CONFIRMED ONSITE. SURVEYOR TO ESTABLISH BOUNDARY AND SET OUT BUILDINGS. ALL DIMENSIONS SUBJECT TO SITE SURVEY.**

REFER TO :  
 SITE PLANS :  
 DEMOLITION PLANS :  
 FLOOR PLANS :  
 ELEVATIONS :  
 SECTIONS :  
 3D VIEWS :

INTERNAL ELEVATIONS :  
 DOOR & WINDOWS :  
 CUT & FILL PLAN :  
 SETOUT PLAN :  
 EROSION & SEDIMENT CONTROL :  
 LANDSCAPE PLAN :  
 NOTIFICATION PLAN :

Figured dimensions take precedence. Do not scale drawings.  
 Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work.  
 All materials and workmanship to be in strict accordance with current Australian standards, BCA, local regulations and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.  
 COPYRIGHT TIM LEE ARCHITECTS  
 Drawings subject to copyright and may not be reproduced in any form without the written permission of the builder. ©



**1** PROPOSED WEST ELEVATION  
 1 : 100 @ A3



**2** SOUTH ELEVATION  
 1 : 100 @ A3

ISSUED FOR  
**CONCEPT C**  
 NOT FOR CONSTRUCTION

**DRAWING AMENDMENTS**

| REVISION | DESCRIPTION                             | DATE     |
|----------|---|----------|
| A        | CONCEPT C - PROPOSED ENTRY RAMP SECTION | 08.07.19 |
| B        | CONCEPT C - MEETING WITH CLIENT         | 16.10.19 |
| C        | CONCEPT C - TO ALIGN FOR REVIEW         | 30.10.19 |
| D        | CONCEPT D - ISSUE FOR CLIENT MEETING    | 11.11.19 |

PROJECT TITLE  
**ALTERATION & ADDITIONS - NEW LIFT, FIRE & ACCESS UPGRADING**

CLIENT  
**GOULBURN CLUB**

DRAWING TITLE  
**PROPOSED ELEVATIONS 1**

LOT AND DEPOSITED PLAN NO.  
**LOT 1 - DP 61322**

STREET ADDRESS  
**19 MARKET STREET, GOULBURN, NSW 2580**

DRAWING VERIFIED BY  
**T.L.**

DRAWN BY  
**AW**

JOB NUMBER  
**0718-1021**

DRAWING NO.  
**C-19**

ISSUE  
**D**

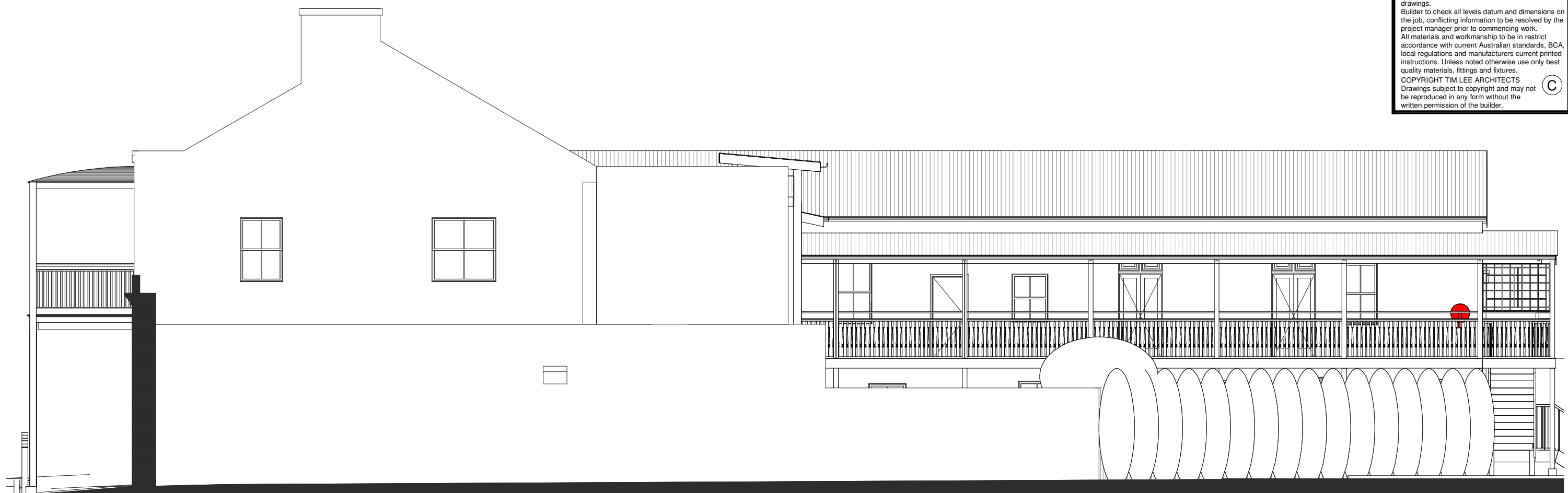
DRAWING COMMENCED  
**SEPT 18**

DRAWING SCALE  
**1 : 100**

AT SHEET SIZE  
**A3 SHEET**

**TIM LEE ARCHITECTS**  
 residential commercial industrial  
**NOMINATED ARCHITECT:**  
 TIM LEE  
 NSW REG: 7304  
 ACT REG: 1030  
 P: 02 4822 5934  
 ABN: 71425067537  
 ROSS PLACE  
 GOULBURN NSW  
 2580

Figured dimensions take precedence. Do not scale drawings.  
 Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work.  
 All materials and workmanship to be in strict accordance with current Australian standards, BCA, local regulations and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.  
 COPYRIGHT TIM LEE ARCHITECTS  
 Drawings subject to copyright and may not be reproduced in any form without the written permission of the builder. ©



**1** EAST ELEVATION  
 1 : 100 @ A3

ISSUED FOR  
**CONCEPT C**  
 NOT FOR CONSTRUCTION

| REVISION | DESCRIPTION                             | DATE     |
|----------|---|----------|
| A        | CONCEPT C - PROPOSED ENTRY RAMP SECTION | 08.07.19 |
| B        | CONCEPT C - MEETING WITH CLIENT         | 16.10.19 |
| C        | CONCEPT C - TO ALIGN FOR REVIEW         | 30.10.19 |
| D        | CONCEPT D - ISSUE FOR CLIENT MEETING    | 11.11.19 |

PROJECT TITLE  
**ALTERATION & ADDITIONS - NEW LIFT, FIRE & ACCESS UPGRADING**

CLIENT  
**GOULBURN CLUB**

DRAWING TITLE  
**PROPOSED ELEVATIONS 2**

LOT AND DEPOSITED PLAN NO.  
**LOT 1 - DP 61322**

STREET ADDRESS  
**19 MARKET STREET, GOULBURN, NSW 2580**

DRAWING VERIFIED BY  
**T.L.**

DRAWN BY  
**AH**

JOB NUMBER  
**0718-1021**

DRAWING NO.  
**C-20**

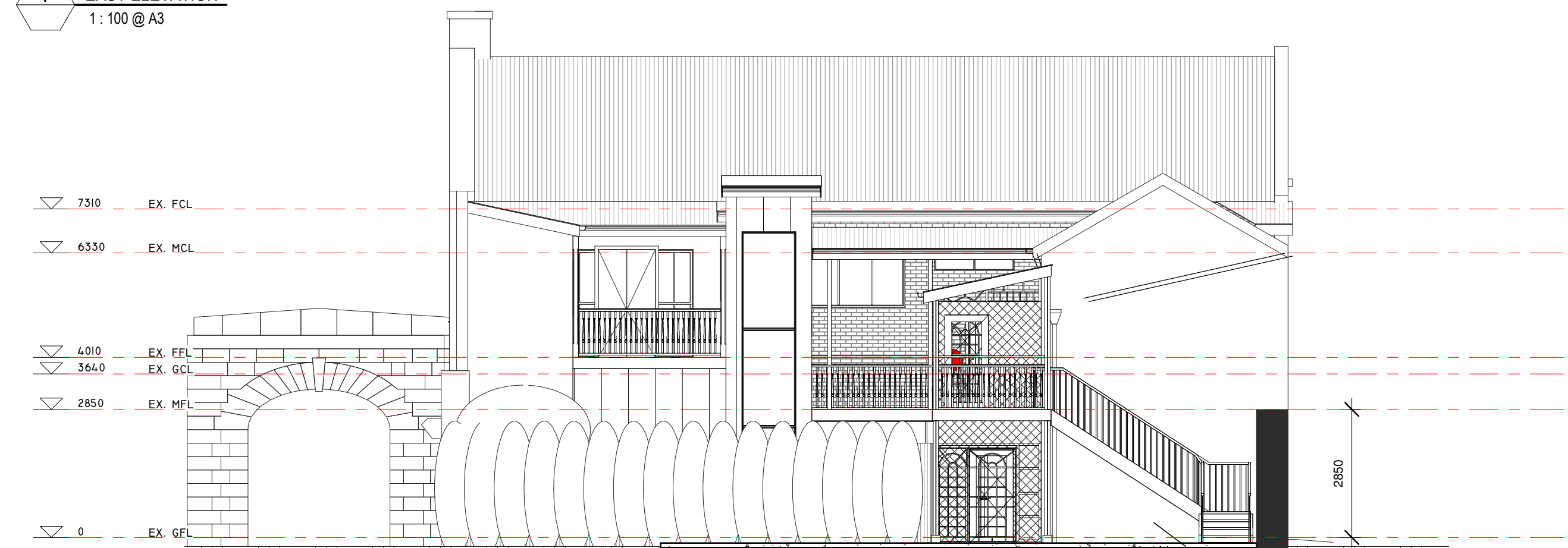
ISSUE  
**D**

DRAWING COMMENCED  
**SEPT 18**

DRAWING SCALE  
**1 : 100**

AT SHEET SIZE  
**A3 SHEET**

**TIM LEE ARCHITECTS**  
 residential commercial industrial  
**NOMINATED ARCHITECT:**  
 TIM LEE  
 NSW REG: 7304  
 ACT REG: 1030  
 P: 02 4822 5934  
 ABN: 71425067537  
 ROSS PLACE  
 GOULBURN NSW  
 2580



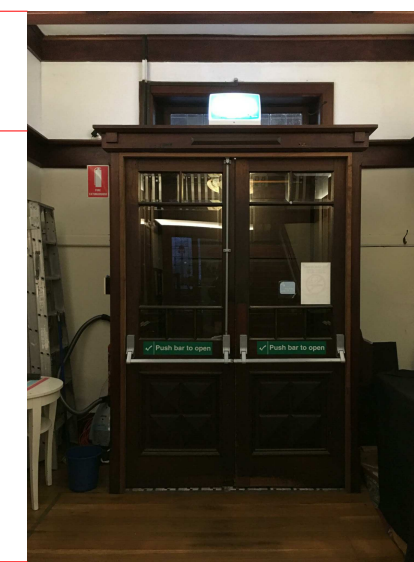
**2** NORTH ELEVATION  
 1 : 100 @ A3



**1** ELEVATION 1 - FRONT ENTRY DOOR  
1 : 50 @ A3 EXISTING INTERNAL ELEVATION



**2** ELEVATION 2 - FRONT ENTRY DOOR  
1 : 50 @ A3 PROPOSED INTERNAL ELEVATION



**33** PHOTOGRAPH 1  
1 : 100 @ A3

NOTE : ALL LEVELS SHOWN ARE BASED ON SUPPLIED 3RD PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ONSITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORK. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS.

**ALL FLOOR LEVELS & GROUND LEVELS ARE ASSUMED & ARE TO BE CONFIRMED ONSITE, PRIOR TO COMMENCING ANY WORKS.**

**SURVEYOR TO ESTABLISH AND SETOUT BUILDINGS.**

**ALL DIMENSIONS TO BE SUBJECT TO SITE SURVEY.**

**PROVIDE SHOP DRAWINGS BEFORE COMMENCING ANY WORKS.**

IT IS THE RESPONSIBILITY OF THE CONTRACTOR & SUB-CONTRACTORS TO MAKE THEMSELVES FULLY AWARE OF CONDITIONS WHICH WILL AFFECT THE EXECUTION OF THE WORKS.

ALL MATERIALS & WORKMANSHIP ARE TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

THE CONTRACTOR IS TO ENSURE COMPLETE COMPLIANCE WITH ALL RELEVANT NCC CODES, AUSTRALIAN STANDARDS AND LOCAL REGULATIONS AND BY-LAWS AS REQUIRED.

SUPPLY AND INSTALL ALL NECESSARY FITTINGS & FIXTURES IN STRICT ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

CONNECT ALL NEW DOWNPIPES TO EXISTING WATER TANKS, OVERFLOW TO STORMWATER SYSTEM.

PROVIDE TERMITE CONTROL TO ALL AREAS AS REQUIRED BY PART B OF THE BCA, AS-3660.1 AND AS-3660.2.

GRADE FINISHED GROUND LINE TO GIVE FALLS AWAY FROM BUILDING.

REFER TO :  
SITE PLANS :  
DEMOLITION PLANS :  
FLOOR PLANS :  
ELEVATIONS :  
SECTIONS :  
3D VIEWS :  
INTERNAL ELEVATIONS :  
DOOR & WINDOWS :  
CUT & FILL PLAN :  
SETOUT PLAN :  
EROSION & SEDIMENT CONTROL :  
LANDSCAPE PLAN :  
NOTIFICATION PLAN :



ISSUED FOR  
**PRELIMINARY**  
**NOT FOR CONSTRUCTION**  
REFER TO GENERAL NOTES SHEET

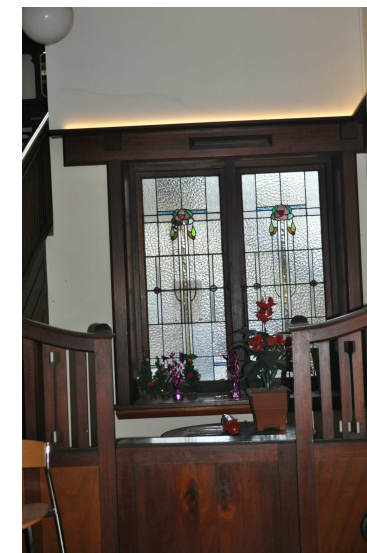
| DRAWING AMENDMENTS |  |          | PROJECT TITLE   | <b>TIM LEE ARCHITECTS</b><br><small>residential commercial industrial</small><br>P: 02 4822 5934<br>ABN: 71425067537<br>ROSS PLACE<br>GOULBURN NSW<br>2580<br><b>NOMINATED ARCHITECT:</b><br><b>TIM LEE</b><br>NSW REG: 7304<br>ACT REG: 1030 | DRAWING TITLE                 | DRAWING COMMENCED | DRAWING VERIFIED BY |
|--------------------|--|----------|---|---|-------------------------------|-------------------|---------------------|
| REVISION           | DESCRIPTION                              | DATE     | ALTERATION & ADDITIONS - NEW LIFT, FIRE & ACCESS UPGRADING  |   | INTERNAL ELEVATIONS 1         | SEPT 18           | TL                  |
| A                  | CONCEPT C - PROPOSED ENTRY RAMPS SECTION | 08.07.19 | <b>GOULBURN CLUB</b><br><small>Figured dimensions take precedence. Do not scale drawings.<br/> Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work.<br/> All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.<br/> COPYRIGHT TIM LEE ARCHITECTS<br/> Drawings subject to copyright and may not be reproduced in any form without the written permission of the builder.</small> | LOT AND DEPOSITED PLAN NO.  | DRAWING SCALE                 | DRAWN BY          |                     |
| B                  | CONCEPT C - MEETING WITH CLIENT          | 16.10.19 |   | LOT 1 - DP 61322  | As indicated                  | AW                |                     |
| C                  | CONCEPT C - TO TL/IGNIS FOR REVIEW       | 30.10.19 |   | STREET ADDRESS <b>19 MARKET STREET, GOULBURN, NSW 2580</b>  | AT SHEET SIZE                 | JOB NUMBER        |                     |
| D                  | CONCEPT D - ISSUE FOR CLIENT MEETING     | 11.11.19 |   |   | <b>A3 SHEET</b>               | <b>0718-1021</b>  |                     |
|                    |  |          |   |   | DRAWING IDENTIFICATION NUMBER | AMENDMENT ISSUE   |                     |
|                    |  |          |   |   | <b>C-23 OF</b>                | <b>D</b>          |                     |



**1** ELEVATION 3 - FOYER SCREEN  
1 : 50 @ A3 EXISTING INTERNAL ELEVATION



**2** ELEVATION 4 - FOYER SCREEN  
1 : 50 @ A3 PROPOSED INTERNAL ELEVATION



**3** PHOTOGRAPH 2  
1 : 100 @ A3

NOTE : ALL LEVELS SHOWN ARE BASED ON SUPPLIED 3RD PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ONSITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORK. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS.

**ALL FLOOR LEVELS & GROUND LEVELS ARE ASSUMED & ARE TO BE CONFIRMED ONSITE, PRIOR TO COMMENCING ANY WORKS.**

**SURVEYOR TO ESTABLISH AND SETOUT BUILDINGS.**

**ALL DIMENSIONS TO BE SUBJECT TO SITE SURVEY.**

**PROVIDE SHOP DRAWINGS BEFORE COMMENCING ANY WORKS.**

IT IS THE RESPONSIBILITY OF THE CONTRACTOR & SUB-CONTRACTORS TO MAKE THEMSELVES FULLY AWARE OF CONDITIONS WHICH WILL AFFECT THE EXECUTION OF THE WORKS.

ALL MATERIALS & WORKMANSHIP ARE TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

THE CONTRACTOR IS TO ENSURE COMPLETE COMPLIANCE WITH ALL RELEVANT NCC CODES, AUSTRALIAN STANDARDS AND LOCAL REGULATIONS AND BY-LAWS AS REQUIRED.

SUPPLY AND INSTALL ALL NECESSARY FITTINGS & FIXTURES IN STRICT ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

CONNECT ALL NEW DOWNPIPES TO EXISTING WATER TANKS, OVERFLOW TO STORMWATER SYSTEM.

PROVIDE TERMITE CONTROL TO ALL AREAS AS REQUIRED BY PART B OF THE BCA, AS-3660.1 AND AS-3660.2.

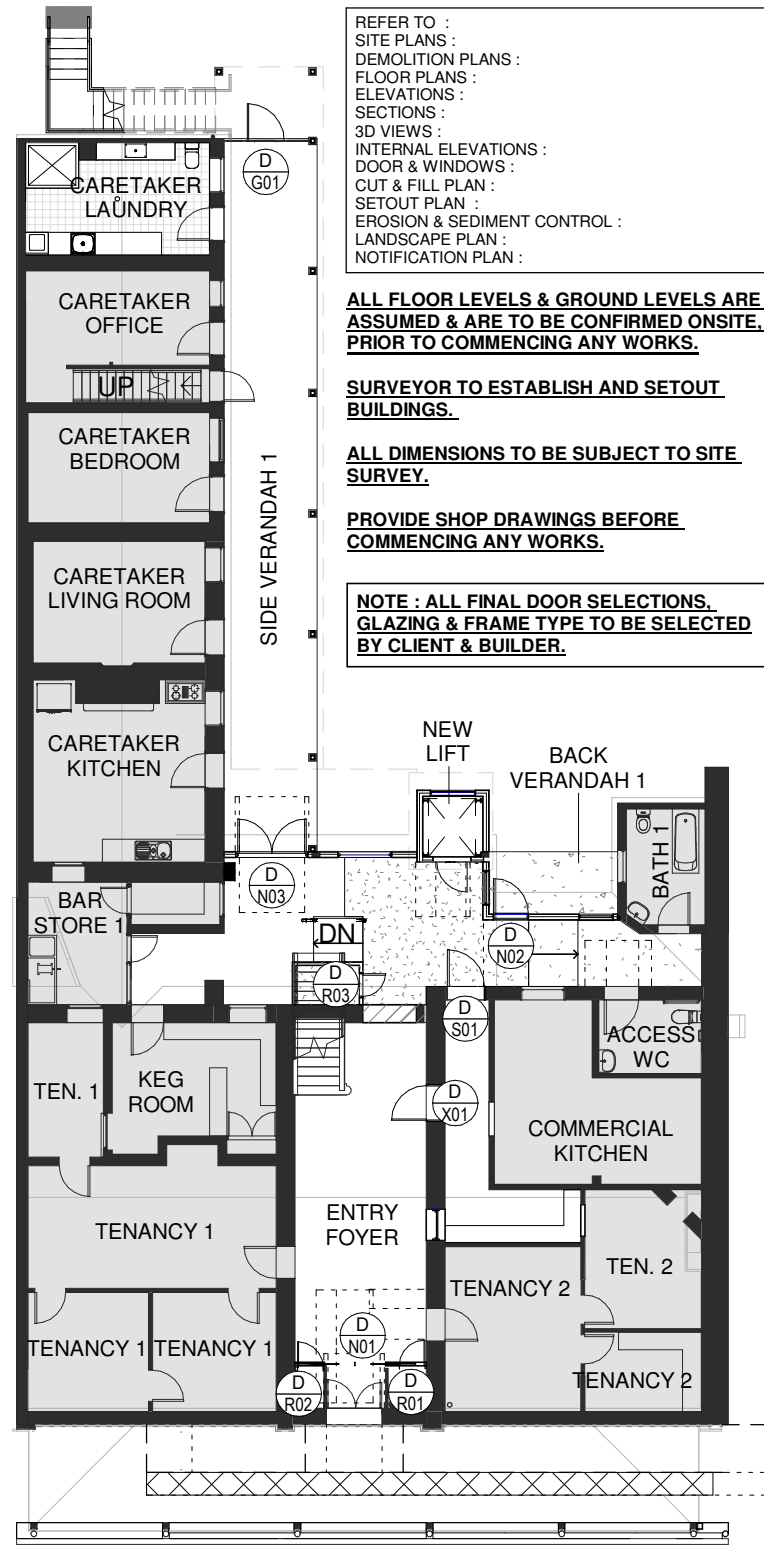
GRADE FINISHED GROUND LINE TO GIVE FALLS AWAY FROM BUILDING.

REFER TO :  
SITE PLANS :  
DEMOLITION PLANS :  
FLOOR PLANS :  
ELEVATIONS :  
SECTIONS :  
3D VIEWS :  
INTERNAL ELEVATIONS :  
DOOR & WINDOWS :  
CUT & FILL PLAN :  
SETOUT PLAN :  
EROSION & SEDIMENT CONTROL :  
LANDSCAPE PLAN :  
NOTIFICATION PLAN :



ISSUED FOR  
**PRELIMINARY**  
**NOT FOR CONSTRUCTION**  
REFER TO GENERAL NOTES SHEET

| DRAWING AMENDMENTS |  |          | PROJECT TITLE  | <b>TIM LEE ARCHITECTS</b><br><small>residential commercial industrial</small><br>P: 02 4822 5934<br>ABN: 71425067537<br>ROSS PLACE<br>GOULBURN NSW<br>2580<br>NOMINATED ARCHITECT:<br><b>TIM LEE</b><br>NSW REG: 7304<br>ACT REG: 1030 | DRAWING TITLE                 | DRAWING COMMENCED | DRAWING VERIFIED BY |
|--------------------|--|----------|--|--|-------------------------------|-------------------|---------------------|
| REVISION           | DESCRIPTION                              | DATE     | ALTERATION & ADDITIONS - NEW LIFT, FIRE & ACCESS UPGRADING   |  | INTERNAL ELEVATION 2          | SEPT 18           | TLA                 |
| A                  | CONCEPT C - PROPOSED ENTRY RAMPS SECTION | 08.07.19 | CLIENT<br><b>GOULBURN CLUB</b><br>Figured dimensions take precedence. Do not scale drawings.<br>Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work.<br>All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.<br>COPYRIGHT TIM LEE ARCHITECTS<br>Drawings subject to copyright and may not be reproduced in any form without the written permission of the builder. © | LOT AND DEPOSITED PLAN NO.   | DRAWING SCALE                 | DRAWN BY          |                     |
| B                  | CONCEPT C - MEETING WITH CLIENT          | 16.10.19 |  | LOT 1 - DP 61322   | As indicated                  | AW                |                     |
| C                  | CONCEPT C - TO TL/IGNIS FOR REVIEW       | 30.10.19 |  | STREET ADDRESS<br>19 MARKET STREET, GOULBURN, NSW 2580   | AT SHEET SIZE                 | JOB NUMBER        |                     |
| D                  | CONCEPT D - ISSUE FOR CLIENT MEETING     | 11.11.19 |  |  | A3 SHEET                      | 0718-1021         |                     |
|                    |  |          |  |  | DRAWING IDENTIFICATION NUMBER | AMENDMENT ISSUE   |                     |
|                    |  |          |  |  | C-24 OF                       | D                 |                     |



REFER TO :  
 SITE PLANS :  
 DEMOLITION PLANS :  
 FLOOR PLANS :  
 ELEVATIONS :  
 SECTIONS :  
 3D VIEWS :  
 INTERNAL ELEVATIONS :  
 DOOR & WINDOWS :  
 CUT & FILL PLAN :  
 SETOUT PLAN :  
 EROSION & SEDIMENT CONTROL :  
 LANDSCAPE PLAN :  
 NOTIFICATION PLAN :

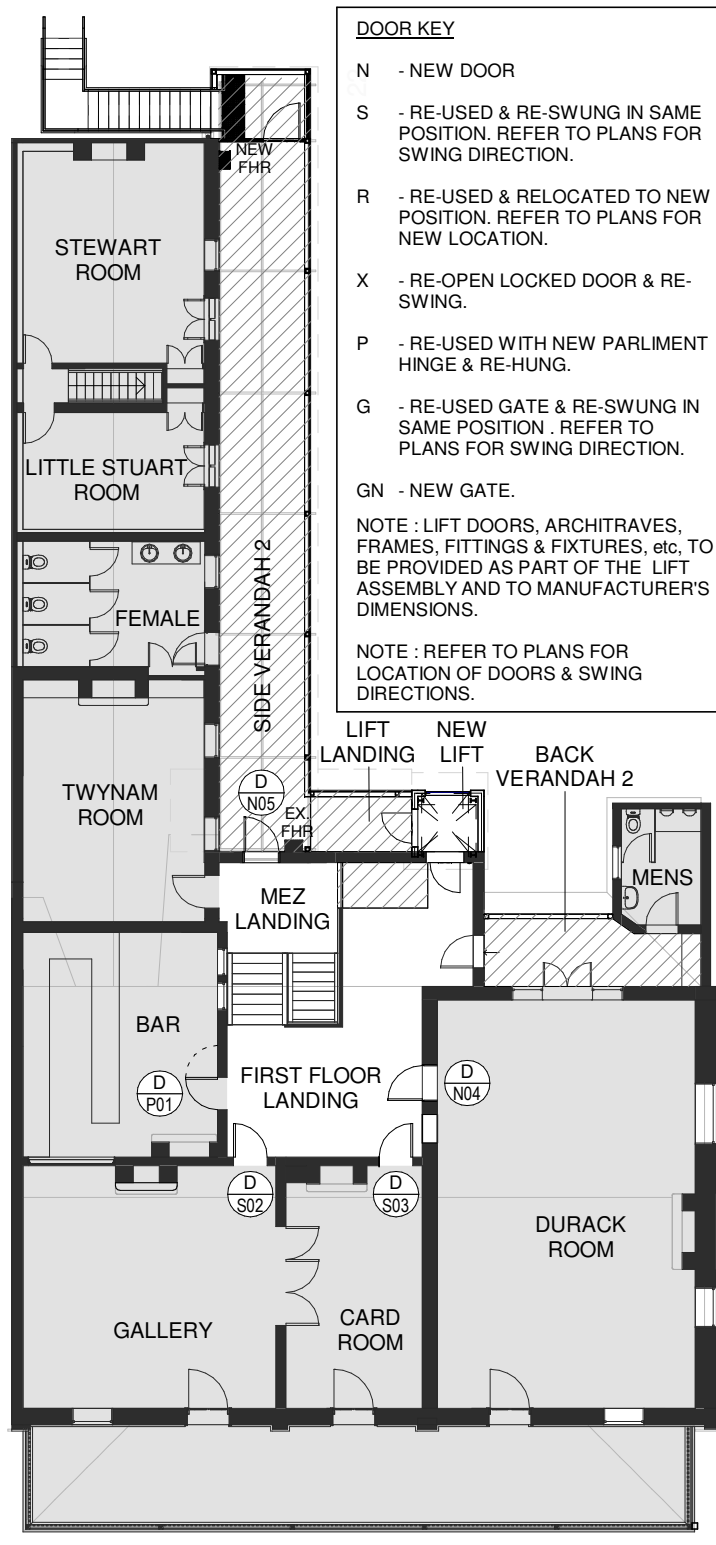
**ALL FLOOR LEVELS & GROUND LEVELS ARE ASSUMED & ARE TO BE CONFIRMED ONSITE, PRIOR TO COMMENCING ANY WORKS.**

**SURVEYOR TO ESTABLISH AND SETOUT BUILDINGS.**

**ALL DIMENSIONS TO BE SUBJECT TO SITE SURVEY.**

**PROVIDE SHOP DRAWINGS BEFORE COMMENCING ANY WORKS.**

**NOTE : ALL FINAL DOOR SELECTIONS, GLAZING & FRAME TYPE TO BE SELECTED BY CLIENT & BUILDER.**



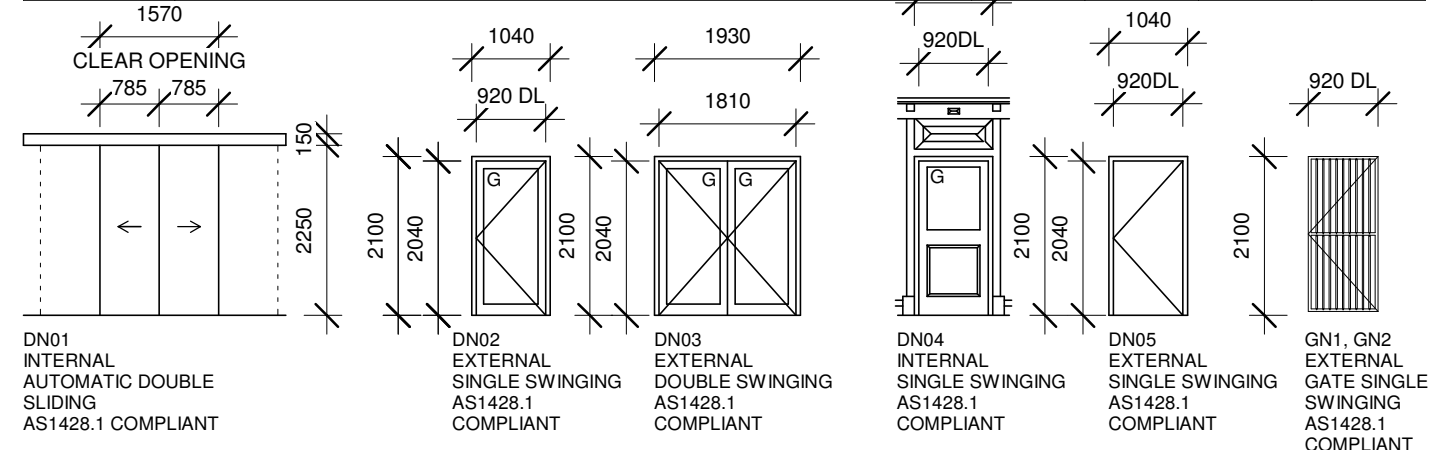
**DOOR KEY**

N - NEW DOOR  
 S - RE-USED & RE-SWUNG IN SAME POSITION. REFER TO PLANS FOR SWING DIRECTION.  
 R - RE-USED & RELOCATED TO NEW POSITION. REFER TO PLANS FOR NEW LOCATION.  
 X - RE-OPEN LOCKED DOOR & RE-SWING.  
 P - RE-USED WITH NEW PARLIMENT HINGE & RE-HUNG.  
 G - RE-USED GATE & RE-SWUNG IN SAME POSITION. REFER TO PLANS FOR SWING DIRECTION.  
 GN - NEW GATE.

NOTE : LIFT DOORS, ARCHITRAVES, FRAMES, FITTINGS & FIXTURES, etc. TO BE PROVIDED AS PART OF THE LIFT ASSEMBLY AND TO MANUFACTURER'S DIMENSIONS.

NOTE : REFER TO PLANS FOR LOCATION OF DOORS & SWING DIRECTIONS.

| DOOR SCHEDULE |   |        |           |             |             |
|---------------|---|--------|-----------|-------------|-------------|
| DOOR NO.      | DOOR TYPE   | HEIGHT | WIDTH     | SILL HEIGHT | HEAD HEIGHT |
| G01           | EXISTING STEEL ENTRY GATE. REMOVE & RE-SWING. REFER TO PLANS FOR SWING DIRECTION.   | 2100   | 970       | -130        | 1970        |
| G03           | EXISTING STEEL ENTRY GATE. REMOVE & RE-SWING. REFER TO PLANS FOR SWING DIRECTION.   | 2100   | 970       | 0           | 2100        |
| G06           | DORMAKABA EL301 BREAKOUT - FRAMELESS GLASS SLIDING AUTOMATIC DOUBLE DOORS OR EQUAL. BRONZED ANODISED HEAD SLIDING TRACK.  | 2250   | 785       | 0           | 2250        |
| GN2           | SELECTED STEEL GATE. AS1428.1 COMPLIANT. SELECTED COLOUR POWDERCOAT FINISH. REFER TO PLANS FOR SWING DIRECTION.   | 2100   | 920 x 2DL |             |             |
| N01           | DORMAKABA EL301 BREAKOUT - FRAMELESS GLASS SLIDING AUTOMATIC DOUBLE DOORS OR EQUAL. BRONZED ANODISED HEAD SLIDING TRACK.  | 2250   | 785       | 0           | 2250        |
| N02           | SELECTED ALUMINIUM FRAMED SAFETY GLAZED EXTERNAL ENTRY DOOR. POWDERCOAT FINISH WITH SELECTED FLYSCREENS.  | 2100   | 920       | 0           | 2100        |
| N03           | SELECTED ALUMINIUM FRAMED SAFETY GLAZED EXTERNAL DOUBLE ENTRY DOORS. POWDERCOAT FINISH WITH SELECTED FLYSCREENS.  | 2100   | 1810      | -130        | 1970        |
| N04           | SELECTED TIMBER FRAMED SAFETY GLAZED INTERNAL DOOR. ARCHITRAVES, PANELLING, FITTINGS & FIXTURES TO MATCH EXISTING.  | 2100   | 920       | 0           | 2100        |
| N05           | SELECTED ALUMINIUM FRAMED SAFETY GLAZED EXTERNAL ENTRY DOOR. POWDERCOAT FINISH WITH SELECTED FLYSCREENS.  | 2100   | 920       | 0           | 2100        |
| P01           | REMOVE EXISTING DOOR, INSTALL NEW PARLIMENT HINGE & RE-HANG IN SAME POSITION. REFER TO PLANS FOR SWING DIRECTION. INSTALL FLOOR BOLT TO LOCK DOOR IN FULLY OPEN POSITION WHEN CLUB IS IN USE. | 2040   | 850       | 0           | 2040        |
| R01           | TIMBER SCREENS TO BE RELOCATED TO EITHER SIDE OF THE ENTRY DOOR & NEW SPRING RETURN DOOR ACTUATORS & HINGES TO BE INSTALLED.  | 2100   | 680       | 0           | 2100        |
| R02           | TIMBER SCREENS TO BE RELOCATED TO EITHER SIDE OF THE ENTRY DOOR & NEW SPRING RETURN DOOR ACTUATORS & HINGES TO BE INSTALLED.  | 2100   | 680       | 0           | 2100        |
| R03           | RELOCATED TELEPHONE BOOTH DOOR. REFER TO PLANS FOR SWING DIRECTION.   | 2100   | 600       | 0           | 2100        |
| S01           | EXISTING DOOR TO BE REMOVED & RE-SWUNG. REFER TO PLANS FOR SWING DIRECTION.   | 2100   | 980       | 0           | 2100        |
| S02           | EXISTING DOOR TO BE REMOVED & RE-SWUNG. REFER TO PLANS FOR SWING DIRECTION.   | 2040   | 890       | 0           | 2040        |
| S03           | EXISTING DOOR TO BE REMOVED & RE-SWUNG. REFER TO PLANS FOR SWING DIRECTION.   | 2040   | 890       | 0           | 2040        |
| X01           | EXISTING CLOSED DOOR TO RE-OPENED AND RE-SWUNG. REFER TO PLANS FOR SWING DIRECTION.   | 2100   | 920       | 0           | 2100        |



**1** MARKET STREET  
**PROPOSED GF DOOR SCHEDULE**  
 1 : 200 @ A3

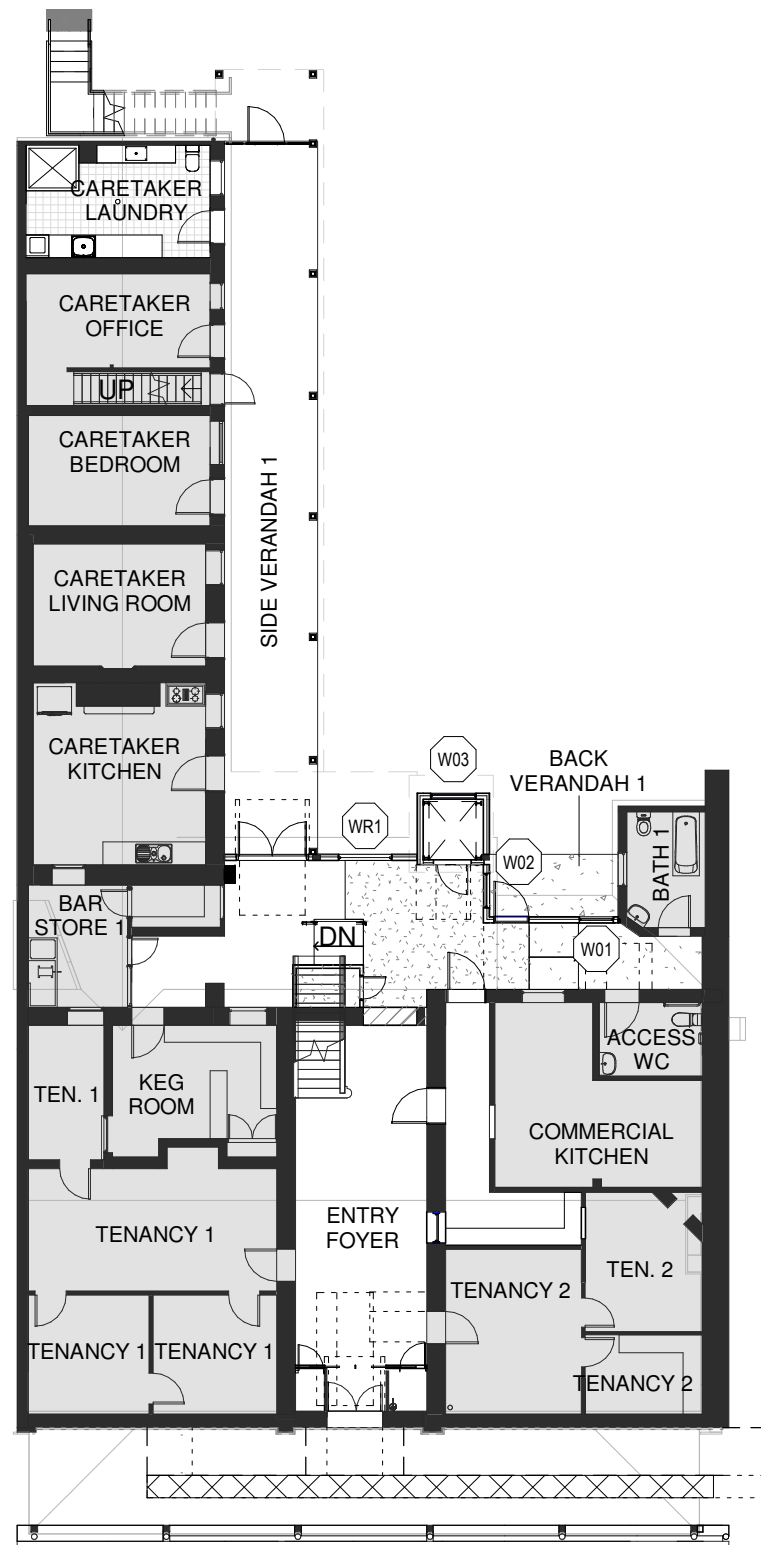
**2** MARKET STREET  
**PROPOSED MEZZ / FF DOOR SCHEDULE**  
 1 : 200 @ A3

NOTE : ALL LEVELS SHOWN ARE BASED ON SUPPLIED 3RD PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ONSITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORK. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS.

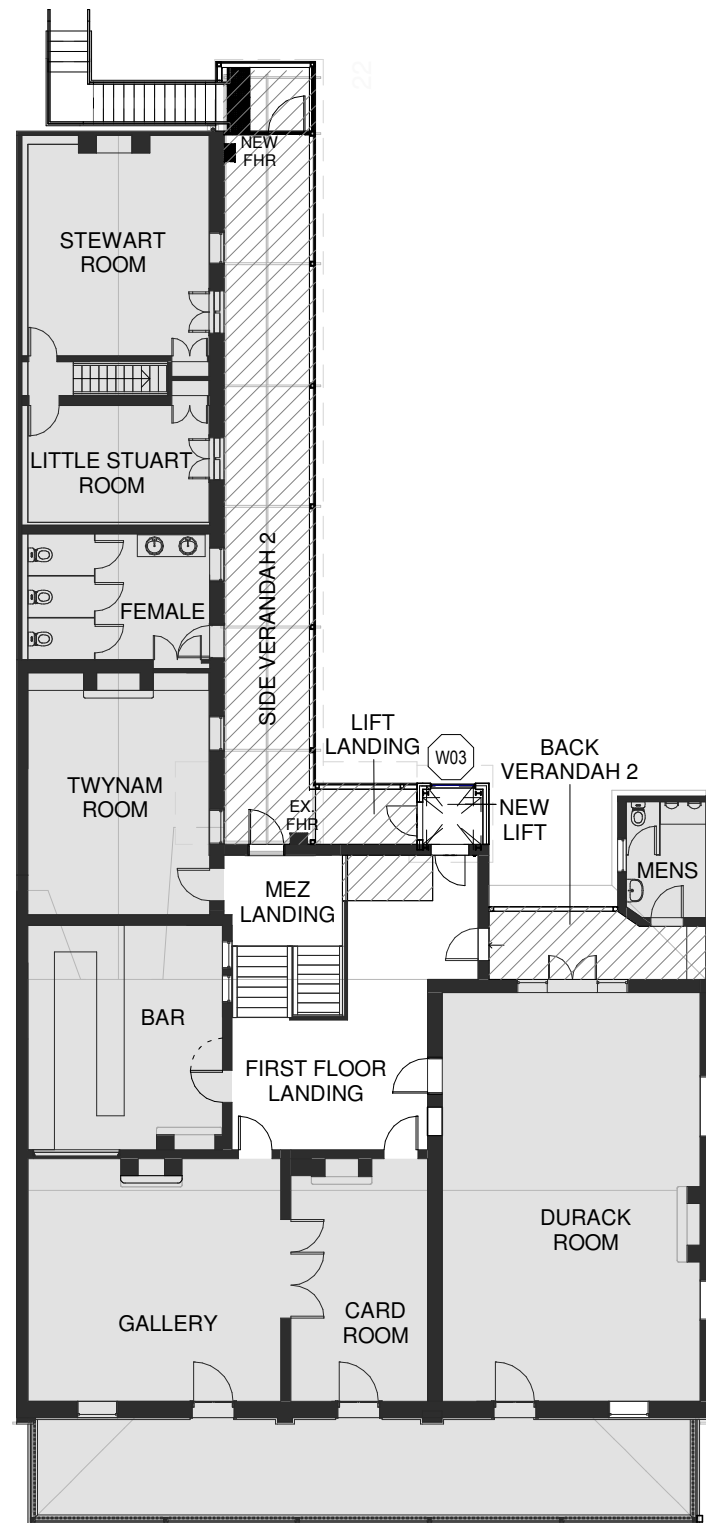
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR & SUB-CONTRACTORS TO MAKE THEMSELVES FULLY AWARE OF CONDITIONS WHICH WILL AFFECT THE EXECUTION OF THE WORKS.  
 - ALL MATERIALS & WORKMANSHIP ARE TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.  
 - THE CONTRACTOR IS TO ENSURE COMPLETE COMPLIANCE WITH ALL RELEVANT NCC CODES, AUSTRALIAN STANDARDS AND LOCAL REGULATIONS AND BY-LAWS AS REQUIRED.  
 - SUPPLY AND INSTALL ALL NECESSARY FITTINGS & FIXTURES IN STRICT ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

ISSUED FOR  
**PRELIMINARY**  
**NOT FOR CONSTRUCTION**  
 REFER TO GENERAL NOTES SHEET

|                           |  |          |  |  |   |   |                               |                              |                           |
|---------------------------|--|----------|--|--|---|---|-------------------------------|------------------------------|---------------------------|
| <b>DRAWING AMENDMENTS</b> |  |          | PROJECT TITLE<br>ALTERATION & ADDITIONS - NEW LIFT, FIRE & ACCESS UPGRADING  |  | <b>TIM LEE ARCHITECTS</b><br>residential commercial industrial<br>P: 02 4822 5934<br>ABN: 71425067537<br>ROSS PLACE<br>GOULBURN NSW<br>2580<br>NOMINATED ARCHITECT:<br><b>TIM LEE</b><br>NSW REG: 7304<br>ACT REG: 1030 | DRAWING TITLE<br><b>DOOR SCHEDULE</b>                 |                               | DRAWING COMMENCED<br>SEPT 18 | DRAWING VERIFIED BY<br>TL |
| REVISION                  | DESCRIPTION                              | DATE     | CLIENT<br><b>GOULBURN CLUB</b>   |  |   | LOT AND DEPOSITED PLAN NO.<br><b>LOT 1 - DP 61322</b> | DRAWING SCALE<br>As indicated | DRAWN BY<br>AW               |                           |
| A                         | CONCEPT C - PROPOSED ENTRY RAMPS SECTION | 08.07.19 | Figured dimensions take precedence. Do not scale drawings.<br>Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work.<br>All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.<br>COPYRIGHT TIM LEE ARCHITECTS<br>Drawings subject to copyright and may not be reproduced in any form without the written permission of the builder. |  | STREET ADDRESS<br><b>19 MARKET STREET, GOULBURN, NSW 2580</b>   | AT SHEET SIZE<br>A3 SHEET                             | JOB NUMBER<br>0718-1021       |                              |                           |
| B                         | CONCEPT C - MEETING WITH CLIENT          | 16.10.19 |  |  |   | DRAWING IDENTIFICATION NUMBER<br>C-25 OF              | AMENDMENT ISSUE<br>D          |                              |                           |
| C                         | CONCEPT C - TO TL/IGNIS FOR REVIEW       | 30.10.19 |  |  |   |   |                               |                              |                           |
| D                         | CONCEPT D - ISSUE FOR CLIENT MEETING     | 11.11.19 |  |  |   |   |                               |                              |                           |



**1** PROPOSED GF WINDOW SCHEDULE  
1 : 200 @ A3

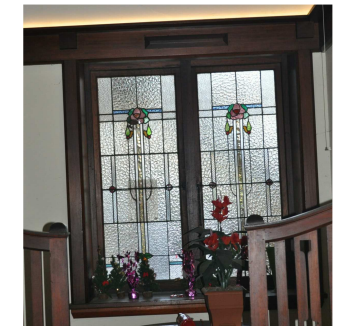
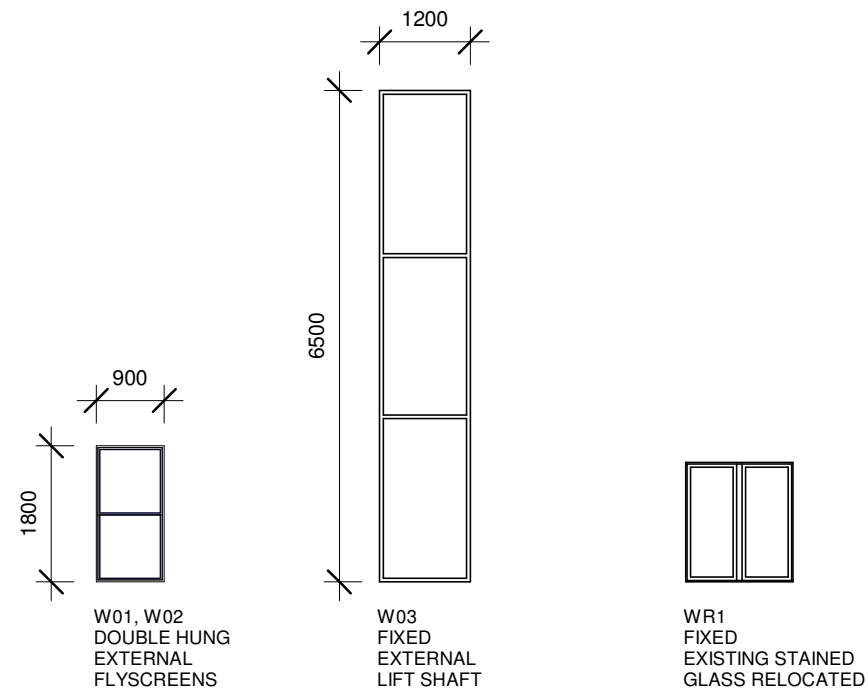


**2** PROPOSED MEZZ / FF WINDOW SCHEDULE  
1 : 200 @ A3

| WINDOW SCHEDULE |   |        |       |             |             |
|-----------------|---|--------|-------|-------------|-------------|
| WINDOW NO.      | WINDOW TYPE   | HEIGHT | WIDTH | SILL HEIGHT | HEAD HEIGHT |
| 01              | SELECTED ALUMINIUM FRAMED DOUBLE HUNG WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS. | 1800   | 900   | 300         | 2100        |
| 02              | SELECTED ALUMINIUM FRAMED DOUBLE HUNG WINDOW, POWDERCOAT FINISH WITH MATCHING FLYSCREENS. | 1800   | 900   | 300         | 2100        |
| 03              | SELECTED ALUMINIUM FRAMED FIXED WINDOW, POWDERCOAT FINISH.                                | 6500   | 1200  | 300         | 6800        |
| R1              | EXISTING RELOCATED & REFURBISHED STAINED GLASS WINDOW.                                    | 1580   | 1420  | 520         | 2100        |

**WINDOW KEY**  
W - NEW WINDOW  
WR - RE-USED & RELOCATED WINDOW. REFER TO PLANS FOR NEW DOOR LOCATION.

**WINDOW ELEVATIONS**



**3** STAINED GLASS WINDOW  
1 : 100 @ A3

**ALL FLOOR LEVELS & GROUND LEVELS ARE ASSUMED & ARE TO BE CONFIRMED ONSITE. PRIOR TO COMMENCING ANY WORKS.**

**SURVEYOR TO ESTABLISH AND SETOUT BUILDINGS.**

**ALL DIMENSIONS TO BE SUBJECT TO SITE SURVEY.**

**PROVIDE SHOP DRAWINGS BEFORE COMMENCING ANY WORKS.**

IT IS THE RESPONSIBILITY OF THE CONTRACTOR & SUB-CONTRACTORS TO MAKE THEMSELVES FULLY AWARE OF CONDITIONS WHICH WILL AFFECT THE EXECUTION OF THE WORKS.

ALL MATERIALS & WORKMANSHIP ARE TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

THE CONTRACTOR IS TO ENSURE COMPLETE COMPLIANCE WITH ALL RELEVANT NCC CODES, AUSTRALIAN STANDARDS AND LOCAL REGULATIONS AND BY-LAWS AS REQUIRED.

SUPPLY AND INSTALL ALL NECESSARY FITTINGS & FIXTURES IN STRICT ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

NOTE : ALL LEVELS SHOWN ARE BASED ON SUPPLIED 3RD PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ONSITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORK. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS.

**NOTE : ALL FINAL WINDOW SELECTION, GLAZING & FRAME TYPE TO BE SELECTED BY CLIENT & BUILDER.**

- REFER TO :
- SITE PLANS :
- DEMOLITION PLANS :
- FLOOR PLANS :
- ELEVATIONS :
- SECTIONS :
- 3D VIEWS :
- INTERNAL ELEVATIONS :
- DOOR & WINDOWS :
- CUT & FILL PLAN :
- SETOUT PLAN :
- EROSION & SEDIMENT CONTROL :
- LANDSCAPE PLAN :
- NOTIFICATION PLAN :



ISSUED FOR  
**PRELIMINARY**  
**NOT FOR CONSTRUCTION**  
REFER TO GENERAL NOTES SHEET

| DRAWING AMENDMENTS |  |          | PROJECT TITLE   | <b>TIM LEE ARCHITECTS</b><br>residential commercial industrial<br>P: 02 4822 5934<br>ABN: 71425067537<br>ROSS PLACE<br>GOULBURN NSW<br>2580<br>NOMINATED ARCHITECT:<br><b>TIM LEE</b><br>NSW REG: 7304<br>ACT REG: 1030 | DRAWING TITLE                 | DRAWING COMMENCED | DRAWING VERIFIED BY |
|--------------------|--|----------|---|---|-------------------------------|-------------------|---------------------|
| REVISION           | DESCRIPTION                              | DATE     | ALTERATION & ADDITIONS - NEW LIFT, FIRE & ACCESS UPGRADING  |   | WINDOW SCHEDULE               | SEPT 18           | TL                  |
| A                  | CONCEPT C - PROPOSED ENTRY RAMPS SECTION | 08.07.19 | <b>GOULBURN CLUB</b><br><small>Figured dimensions take precedence. Do not scale drawings.<br/> Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work.<br/> All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.<br/> COPYRIGHT TIM LEE ARCHITECTS<br/> Drawings subject to copyright and may not be reproduced in any form without the written permission of the builder.</small> | LOT AND DEPOSITED PLAN NO.  | DRAWING SCALE                 | DRAWN BY          |                     |
| B                  | CONCEPT C - MEETING WITH CLIENT          | 16.10.19 |   | LOT 1 - DP 61322  | As indicated                  | AW                |                     |
| C                  | CONCEPT C - TO TL/IGNIS FOR REVIEW       | 30.10.19 |   | STREET ADDRESS  | AT SHEET SIZE                 | JOB NUMBER        |                     |
| D                  | CONCEPT D - ISSUE FOR CLIENT MEETING     | 11.11.19 |   | 19 MARKET STREET, GOULBURN, NSW 2580  | A3 SHEET                      | 0718-1021         |                     |
|                    |  |          |   |   | DRAWING IDENTIFICATION NUMBER | AMENDMENT ISSUE   |                     |
|                    |  |          |   |   | C-26 OF                       | D                 |                     |

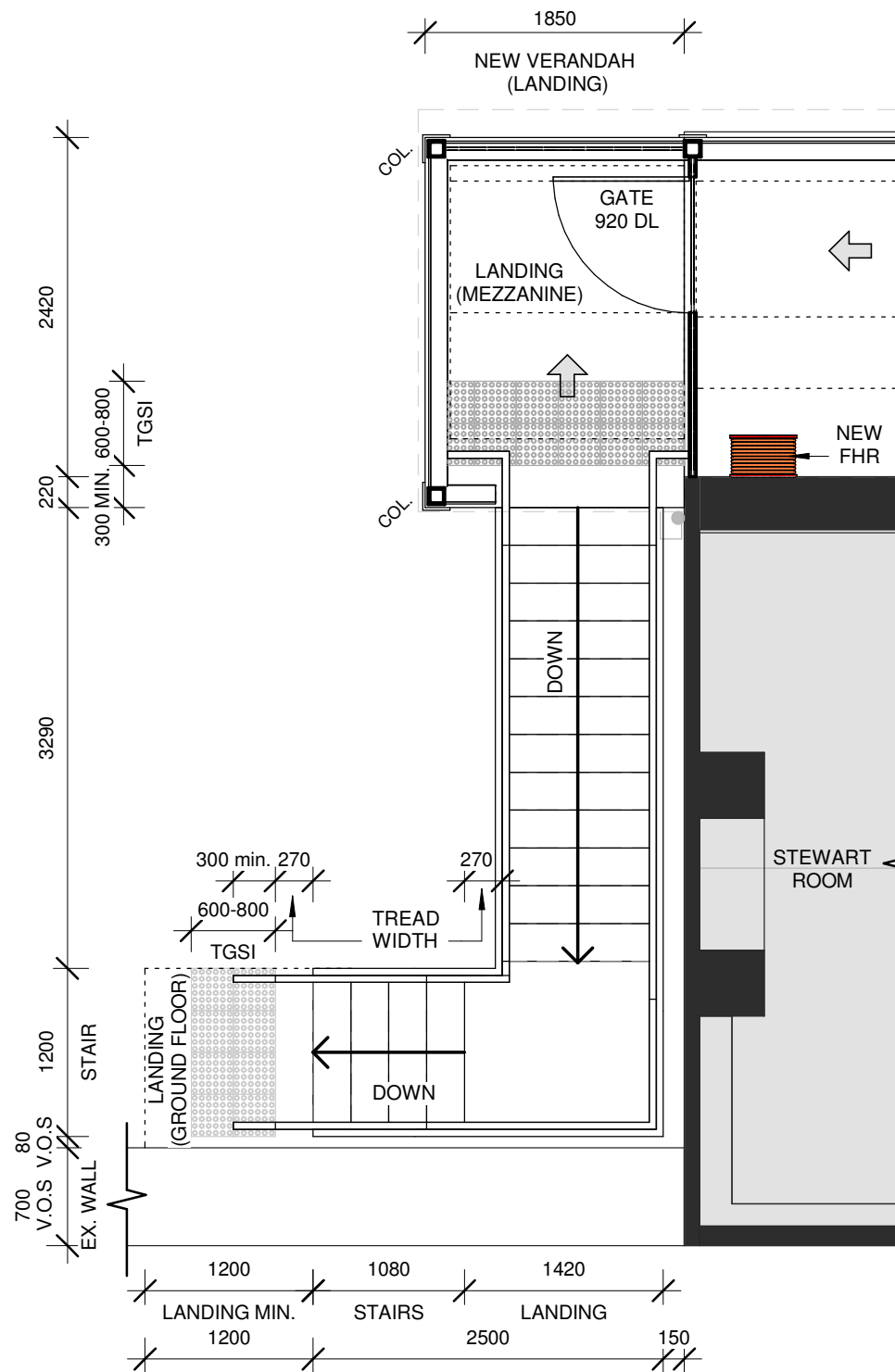




**1** 3D VIEW - FIRE STAIR 1  
@ A3



**2** 3D VIEW - FIRE STAIR 2  
@ A3



NOTE : ALL LEVELS SHOWN ARE BASED ON SUPPLIED 3RD PARTY SURVEY INFORMATION. TIM LEE ARCHITECTS ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF SUPPLIED SITE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ALL LEVELS ONSITE PRIOR TO COMMENCING ANY EXCAVATION OR SITE WORK. TIM LEE ARCHITECTS TO BE NOTIFIED OF ANY ANOMALIES PRIOR TO THE CONTRACTOR STARTING ANY WORKS.

**3** PROPOSED FIRE STAIR FLOOR PLAN  
1 : 50 @ A3

**NOTES :**

ALL STAIR RISERS ARE TO BE EQUAL IN HEIGHT.  
ALL STAIR GOINGS ARE TO BE EQUAL IN LENGTH.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR & SUB-CONTRACTORS TO MAKE THEMSELVES FULLY AWARE OF CONDITIONS WHICH WILL AFFECT THE EXECUTION OF THE WORKS.

ALL MATERIALS & WORKMANSHIP ARE TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

**NOTES :**

ALL STEEL FABRICATION TO BE DONE IN WORKSHOP & TRANSPORTED ONTO SITE FOR INSTALLATION.

ALL STEEL WORK TO BE HOT DIP GALVANISED. SITE REPAIR ALL WELD WITH COLD GALVANISED PAINT.

ALL HANDRAILS: - DIMENSIONS TO BE CONFIRMED ONSITE. - GALVANISED FINISHED. - TO HAVE FULL FILLET WELDED JOINTS GROUND TO A SMOOTH FINISH.

ALL HANDRAILS TO FOLLOW THE GRADE OF THE STAIRS, VERANDAHS, WALKWAYS OR RAMPS ON WHICH THEY ARE LOCATED AT A CONSTANT HEIGHT ABOVE FINISHED RAMP OR GRADE LEVEL.

SUPPLY AND INSTALL ALL NECESSARY FITTINGS & FIXTURES IN STRICT ACCORDANCE WITH MANUFACTURER'S CURRENT PRINTED INSTRUCTIONS.

THE CONTRACTOR IS TO ENSURE COMPLETE COMPLIANCE WITH ALL RELEVANT NCC CODES, AUSTRALIAN STANDARDS AND LOCAL REGULATIONS AND BY-LAWS AS REQUIRED.

**4** FIRE STAIR - EAST ELEV.  
1 : 100 @ A3

NEW DOWNPIPES / GUTTERS / SPREADERS TO BE DESIGNED / INSTALLED & RE-DIRECTED ONSITE TO EXISTING STORMWATER SYSTEM.

NEW STEEL GATE & SCREEN TO MATCH EXISTING. GATE CIRCULATION SPACE TO AS1428.1.

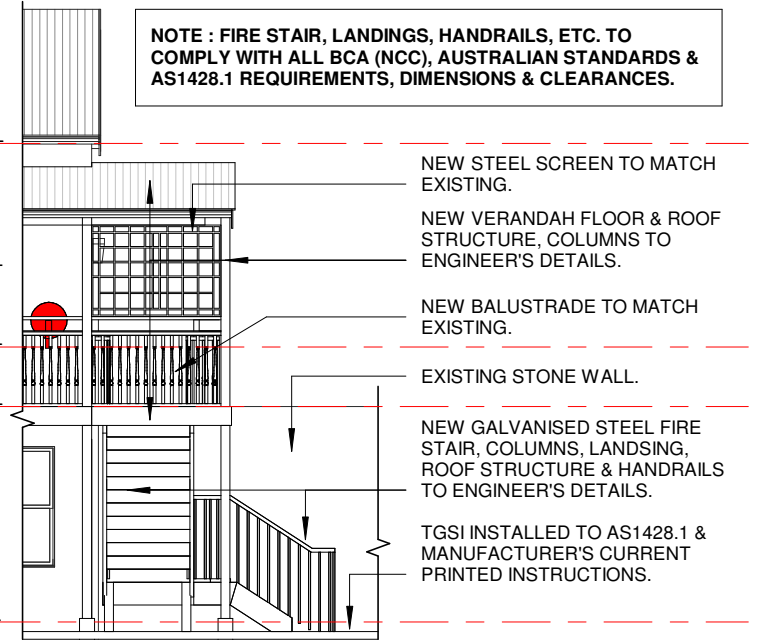
NEW BALUSTRADE TO MATCH EXISTING.

NEW VERANDAH FLOOR & ROOF STRUCTURE, COLUMNS TO ENGINEER'S DETAILS.

RE-SWING EXISTING GATE. REFER TO PLANS FOR SWING DIRECTION.

NEW GALVANISED STEEL FIRE STAIR, COLUMNS, LANDINGS, ROOF STRUCTURE & HANDRAILS TO ENGINEER'S DETAILS.

**NOTE : FIRE STAIR, LANDINGS, HANDRAILS, ETC. TO COMPLY WITH ALL BCA (NCC), AUSTRALIAN STANDARDS & AS1428.1 REQUIREMENTS, DIMENSIONS & CLEARANCES.**



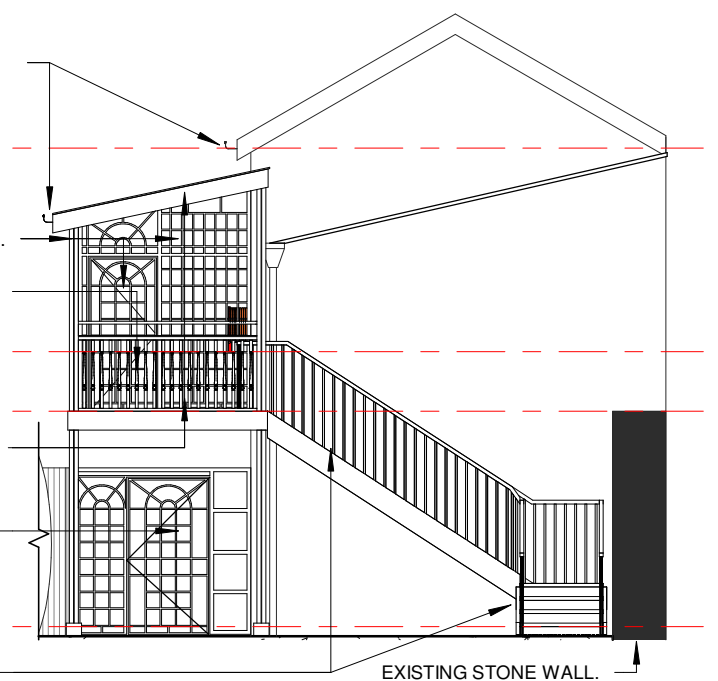
ALL FLOOR LEVELS & GROUND LEVELS ARE ASSUMED & ARE TO BE CONFIRMED ONSITE, PRIOR TO COMMENCING ANY WORKS.

SURVEYOR TO ESTABLISH AND SETOUT BUILDINGS.

ALL DIMENSIONS TO BE SUBJECT TO SITE SURVEY.

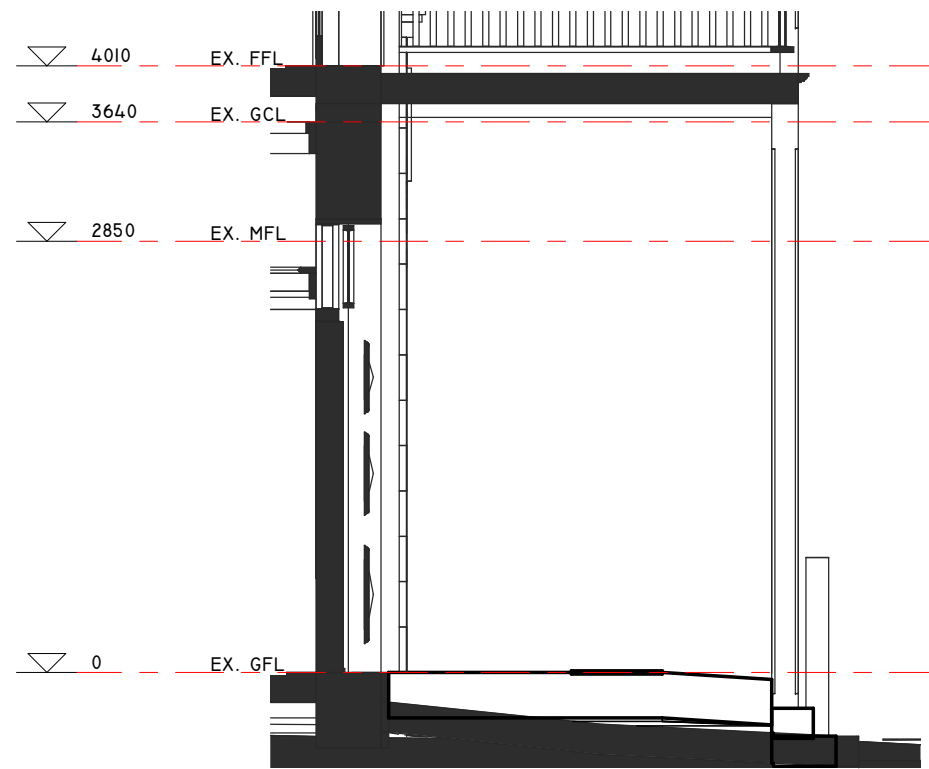
PROVIDE SHOP DRAWINGS BEFORE COMMENCING ANY WORKS.

**5** FIRE STAIR - NORTH ELEV.  
1 : 100 @ A3

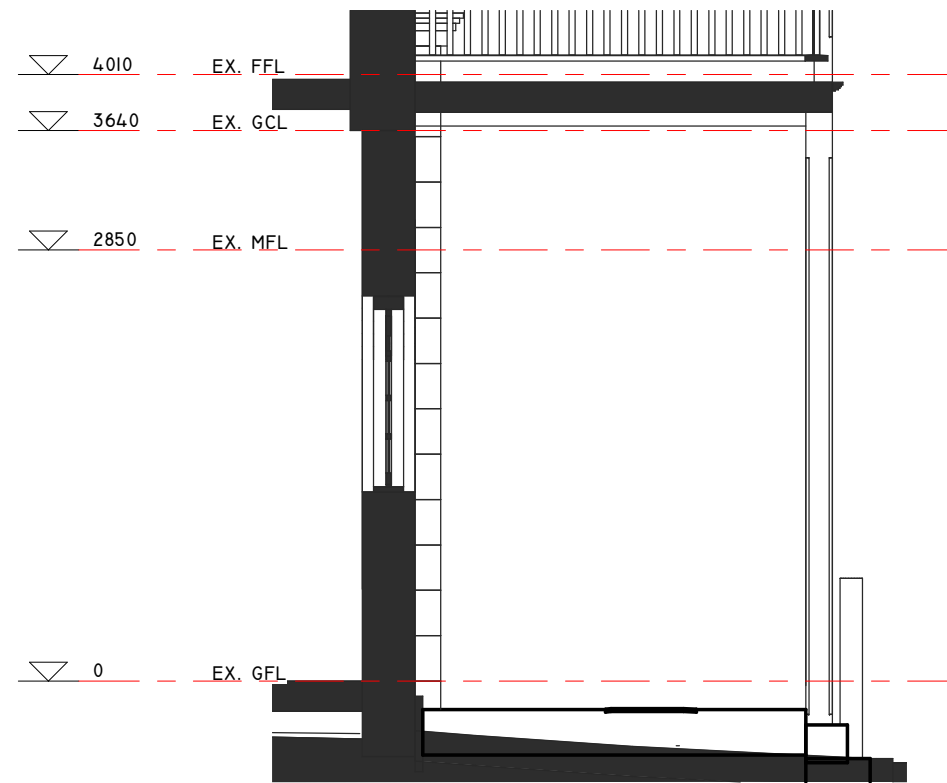


ISSUED FOR  
**PRELIMINARY**  
**NOT FOR CONSTRUCTION**  
REFER TO GENERAL NOTES SHEET

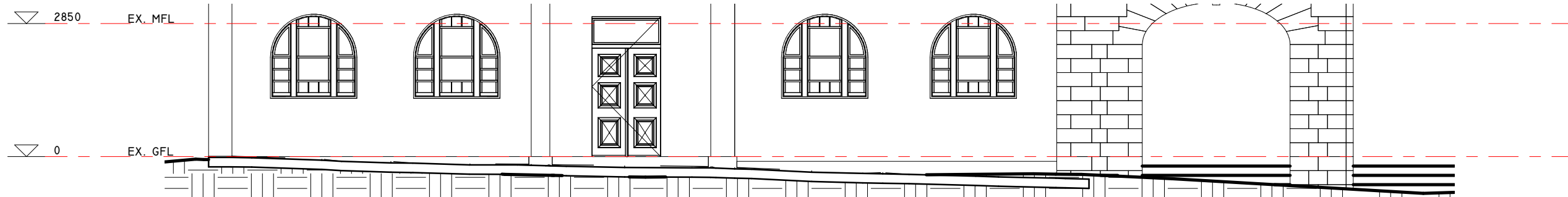
| DRAWING AMENDMENTS |  |          | PROJECT TITLE  | <b>TIM LEE ARCHITECTS</b><br>residential commercial industrial<br>P: 02 4822 5934<br>ABN: 71425067537<br>ROSS PLACE<br>GOULBURN NSW<br>2580<br>NOMINATED ARCHITECT:<br><b>TIM LEE</b><br>NSW REG: 7304<br>ACT REG: 1030 | DRAWING TITLE                 | DRAWING COMMENCED | DRAWING VERIFIED BY |
|--------------------|--|----------|--|---|-------------------------------|-------------------|---------------------|
| REVISION           | DESCRIPTION                              | DATE     | ALTERATION & ADDITIONS - NEW LIFT, FIRE & ACCESS UPGRADING   |   | FIRE STAIR DETAILS            | SEPT 18           | TL                  |
| A                  | CONCEPT C - PROPOSED ENTRY RAMPS SECTION | 08.07.19 | CLIENT<br><b>GOULBURN CLUB</b><br>Figured dimensions take precedence. Do not scale drawings.<br>Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work.<br>All materials and workmanship to be in strict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.<br>COPYRIGHT TIM LEE ARCHITECTS<br>Drawings subject to copyright and may not be reproduced in any form without the written permission of the builder. | LOT AND DEPOSITED PLAN NO.  | DRAWING SCALE                 | DRAWN BY          |                     |
| B                  | CONCEPT C - MEETING WITH CLIENT          | 16.10.19 |  | LOT 1 - DP 61322  | As indicated                  | AW                |                     |
| C                  | CONCEPT C - TO TL/IGNIS FOR REVIEW       | 30.10.19 |  | STREET ADDRESS  | AT SHEET SIZE                 | JOB NUMBER        |                     |
| D                  | CONCEPT D - ISSUE FOR CLIENT MEETING     | 11.11.19 |  | 19 MARKET STREET, GOULBURN, NSW 2580  | A3 SHEET                      | 0718-1021         |                     |
|                    |  |          |  |   | DRAWING IDENTIFICATION NUMBER | AMENDMENT ISSUE   |                     |
|                    |  |          |  |   | C-28 OF                       | D                 |                     |



**1** SECTION A - FOOTPATH  
1 : 50 @ A3




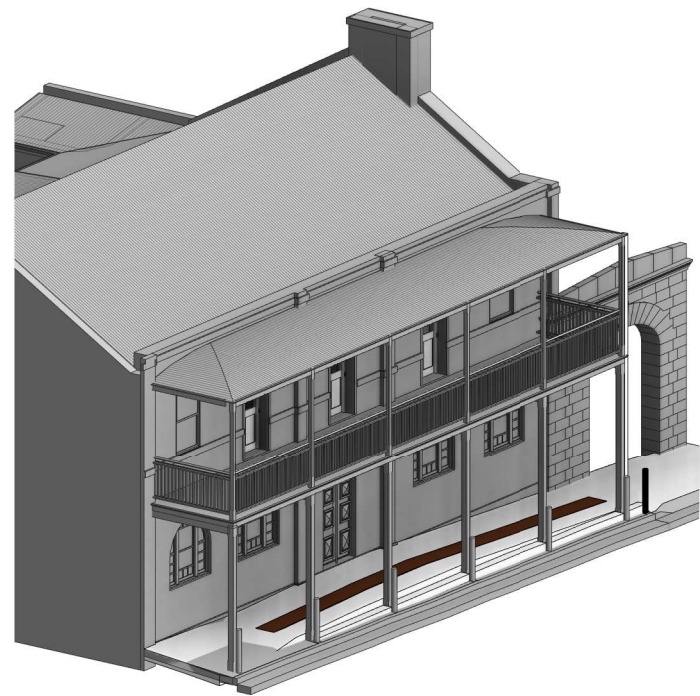
**2** SECTION B - FOOTPATH  
1 : 50 @ A3



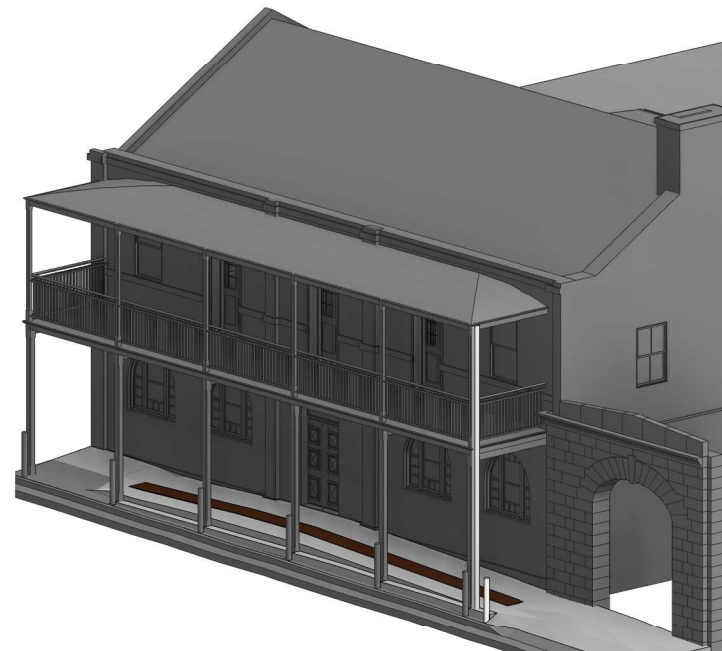
**3** SECTION C - FOOT PATH  
1 : 100 @ A3

ISSUED FOR  
**PRELIMINARY**  
**NOT FOR CONSTRUCTION**  
REFER TO GENERAL NOTES SHEET

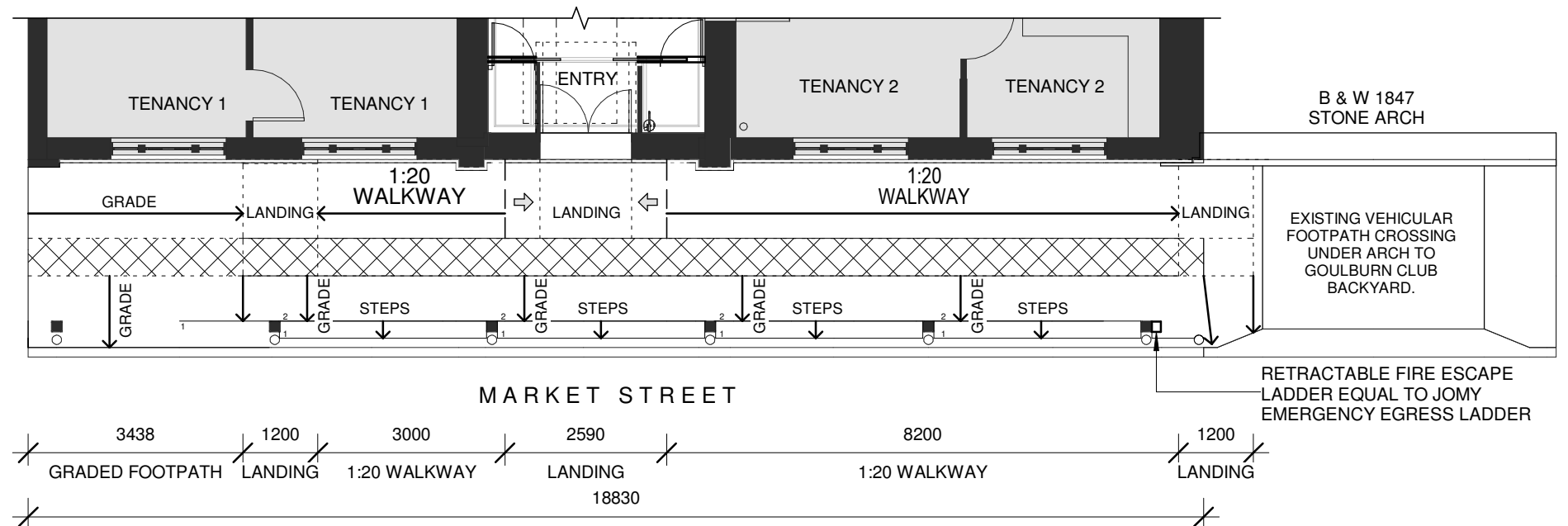
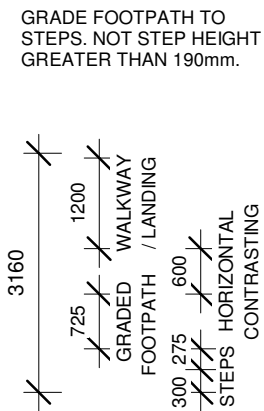
| DRAWING AMENDMENTS |   |          | PROJECT TITLE   | <br><b>TIM LEE ARCHITECTS</b><br><small>residential commercial industrial</small><br>P: 02 4822 5934<br>ABN: 71425067537<br>ROSS PLACE<br>GOULBURN NSW<br>2580<br><b>NOMINATED ARCHITECT:</b><br><b>TIM LEE</b><br>NSW REG: 7304<br>ACT REG: 1030 | DRAWING TITLE                        | DRAWING COMMENCED             | DRAWING VERIFIED BY     |
|--------------------|---|----------|---|--|--------------------------------------|-------------------------------|-------------------------|
| REVISION           | DESCRIPTION                             | DATE     | ALTERATION & ADDITIONS - NEW LIFT, FIRE & ACCESS UPGRADING  |  | FOOTPATH SECTIONS                    | SEPT 18                       | TL                      |
| A                  | CONCEPT C - PROPOSED ENTRY RAMP SECTION | 08.07.19 | <b>GOULBURN CLUB</b><br><small>Figured dimensions take precedence. Do not scale drawings.<br/> Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work.<br/> All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.<br/> COPYRIGHT TIM LEE ARCHITECTS<br/> Drawings subject to copyright and may not be reproduced in any form without the written permission of the builder.</small> | LOT AND DEPOSITED PLAN NO.   | As indicated                         | AW                            |                         |
| B                  | CONCEPT C - MEETING WITH CLIENT         | 16.10.19 |   | LOT 1 - DP 61322   | AT SHEET SIZE                        | A3 SHEET                      | JOB NUMBER<br>0718-1021 |
| C                  | CONCEPT C - TO TL/IGNS FOR REVIEW       | 30.10.19 |   | STREET ADDRESS   | 19 MARKET STREET, GOULBURN, NSW 2580 | DRAWING IDENTIFICATION NUMBER | AMENDMENT ISSUE         |
| D                  | CONCEPT D - ISSUE FOR CLIENT MEETING    | 11.11.19 |   |  |                                      | C-30 OF                       | D                       |



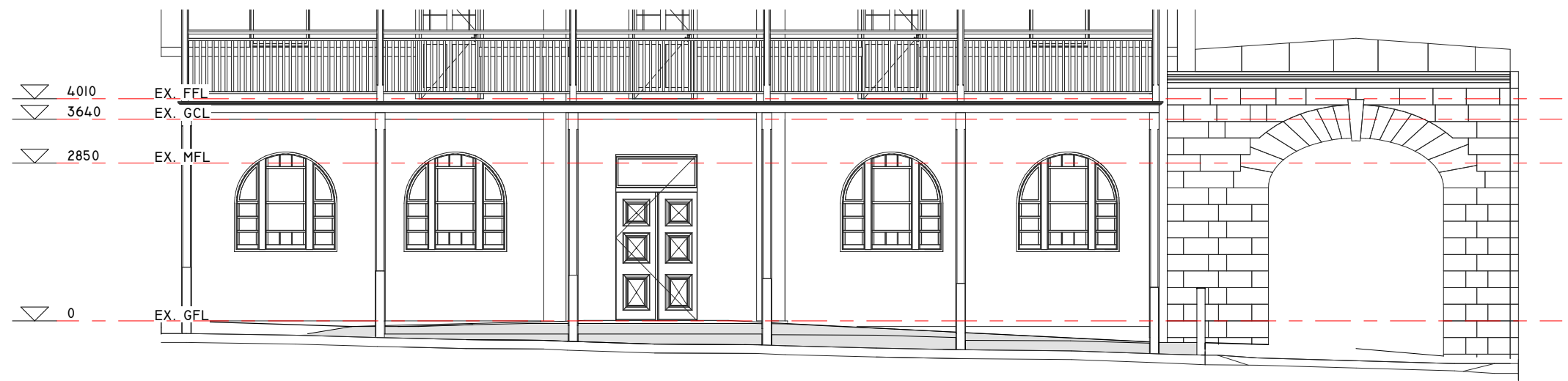
**1** 3D VIEW 1 - NEW FOOTPATH  
@ A3



**2** 3D VIEW 2 - NEW FOOTPATH  
@ A3



**3** PROPOSED FOOTPATH PLAN  
1: 100 @ A3



**4** PROPOSED FOOTPATH ELEVATION  
1: 100 @ A3

ISSUED FOR  
**PRELIMINARY**  
**NOT FOR CONSTRUCTION**  
REFER TO GENERAL NOTES SHEET

| DRAWING AMENDMENTS |                                      |          | PROJECT TITLE  | <b>TIM LEE ARCHITECTS</b><br><small>residential commercial industrial</small><br>P: 02 4822 5934<br>ABN: 71425067537<br>ROSS PLACE<br>GOULBURN NSW<br>2580<br>NOMINATED ARCHITECT:<br><b>TIM LEE</b><br>NSW REG: 7304<br>ACT REG: 1030 | DRAWING TITLE                 | DRAWING COMMENCED | DRAWING VERIFIED BY |
|--------------------|--------------------------------------|----------|--|--|-------------------------------|-------------------|---------------------|
| REVISION           | DESCRIPTION                          | DATE     | ALTERATION & ADDITIONS - NEW LIFT, FIRE & ACCESS UPGRADING   |  | FOOTPATH 3D VIEWS             | SEPT 18           | TL                  |
| B                  | CONCEPT C - MEETING WITH CLIENT      | 16.10.19 | CLIENT<br><b>GOULBURN CLUB</b><br>Figured dimensions take precedence. Do not scale drawings.<br>Builder to check all levels datum and dimensions on the job, conflicting information to be resolved by the project manager prior to commencing work.<br>All materials and workmanship to be in restrict accordance with current Australian standards, BCA, Local regulation and manufacturers current printed instructions. Unless noted otherwise use only best quality materials, fittings and fixtures.<br>COPYRIGHT TIM LEE ARCHITECTS<br>Drawings subject to copyright and may not be reproduced in any form without the written permission of the builder. | LOT AND DEPOSITED PLAN NO.   | DRAWING SCALE                 | DRAWN BY          |                     |
| C                  | CONCEPT C - TO TL/IGNIS FOR REVIEW   | 30.10.19 |  | LOT 1 - DP 61322   | 1: 100                        | AW                |                     |
| D                  | CONCEPT D - ISSUE FOR CLIENT MEETING | 11.11.19 |  | STREET ADDRESS   | A3 SHEET                      | JOB NUMBER        |                     |
|                    |                                      |          |  | 19 MARKET STREET, GOULBURN, NSW 2580   | C-31 OF                       | 0718-1021         |                     |
|                    |                                      |          |  |  | DRAWING IDENTIFICATION NUMBER | AMENDMENT ISSUE   |                     |
|                    |                                      |          |  |  |                               | D                 |                     |